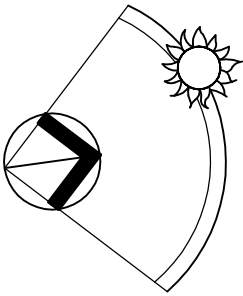


AREAS:	
SITE	624.0m ²
EXISTING DWELLING (Demolished)	99.5m ²
NEW DWELLING:	
GROUND FLOOR LEVEL (+garage)	211.2m ²
FIRST FLOOR LEVEL	65.5m ²
TOTAL:	276.7m ²
PLOT RATIO	44.3%



LEGEND



PROPOSED ADDITIONS

VERGE MANAGEMENT NOTES:

NO PARKING ON VERGE
NO SITE OR STORAGE SHEDS ON VERGE
NO SIGNAGE ON VERGE
NO EXCAVATION ON VERGE
KEEP FENCING 1200mm CLEAR
OF ALL SERVICES ON VERGE

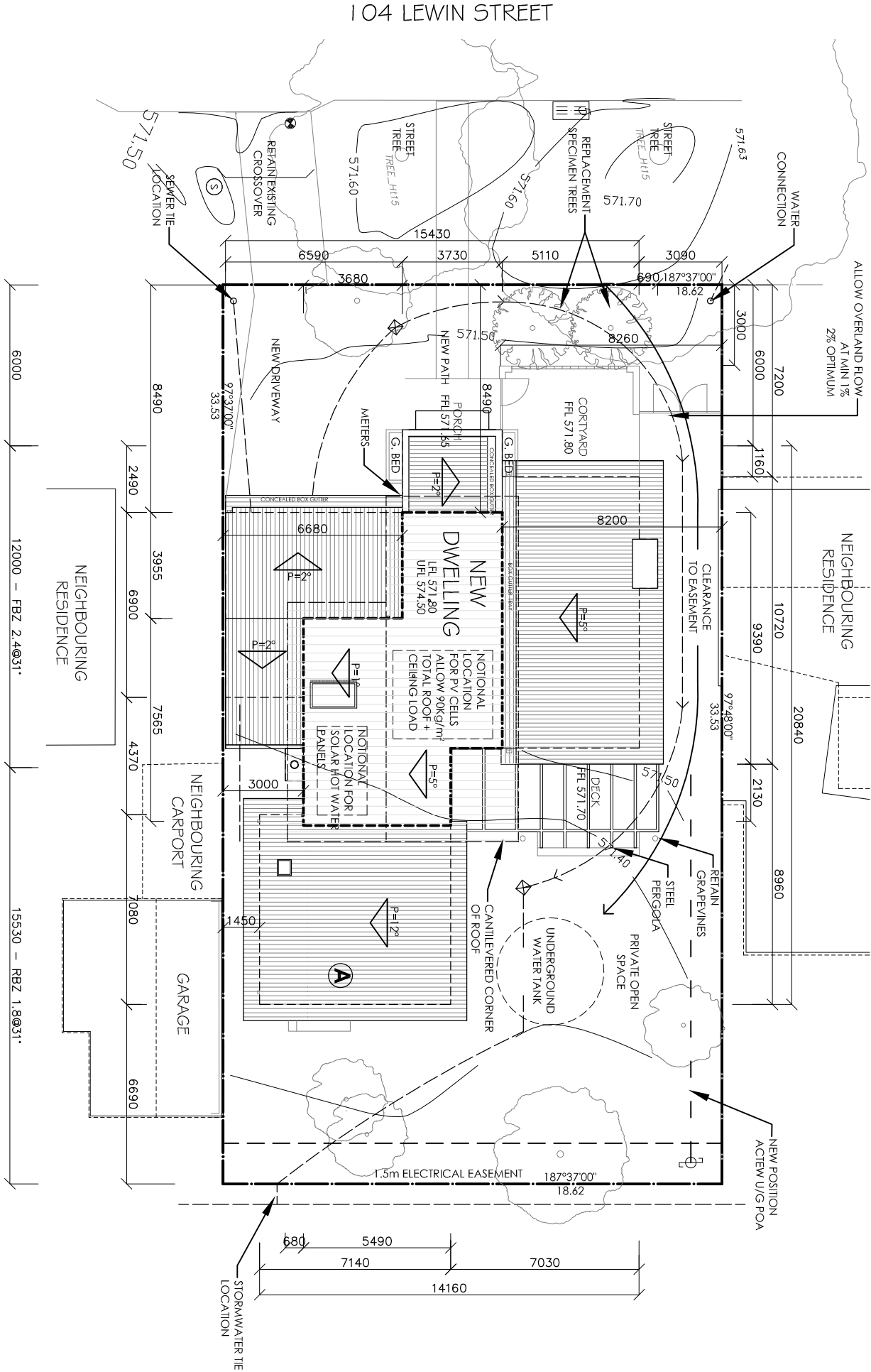
EROSION/SEDIMENT CONTROL PLAN:

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007

TREE MANAGEMENT PLAN:

LOW IMPACT PIER & T BAR FOOTINGS IN DRIP ZONE OF ANY REGUALTED TREES. PRUNING TO BE UNDERTAKEN IN ACCORDANCE WITH AUSTRALIAN STANDARDS

REPLACEMENT TREES:
QUANTITY : 2
SCIENTIFIC NAME: LAGERSTROEMIA INDICA 'SIOUX' 45L
CONTAINER SIZE: PLANT WITH 750mm MIN DEPTH ROOT GUARD ALONG WALL



SITE PLAN

SCALE 1:200

NOD AMENDMENTS:

- A** REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

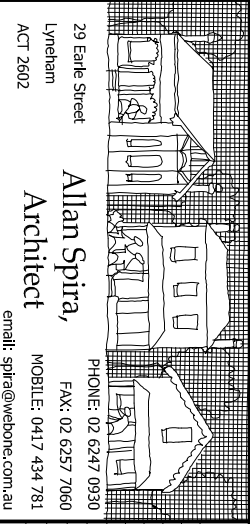
NOTES: EASEMENT

NEW WORK TO ENSURE THAT ACCESS TO THE BURIED SERVICE PIPE OR SERVICE CONNECTION TIES ARE NOT BE IMPEDED. FOUNDATIONS ARE NOT IMPOSE ADVERSE LOADS ON THE PIPE AND POSSIBLE FUTURE TRENCH EXCAVATIONS REQUIRED TO EXPOSE THE PIPE WILL NOT ADVERSELY AFFECT THE STABILITY OF THE STRUCTURE. PRIOR TO FOOTING EXCAVATION BUILDER TO POT-HOLE STORMWATER MAIN AND RECORD EXACT DEPTH AND POSITION TO ENSURE CORRECT CONSTRUCTION OF FOOTINGS

SINGLE RESIDENCE

Knock-down and Re-build

REVISION	DATE	DESCRIPTION
A	17.01.14	ORIGINAL DRAWINGS
B	19.03.14	FINAL DESIGN
C	16.04.14	PRE-TENDER
D	02.05.14	PRE-TENDER NEW HOUSE
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G	16.11.14	DA - NOD
H	22.01.15	FOR CONSTRUCTION



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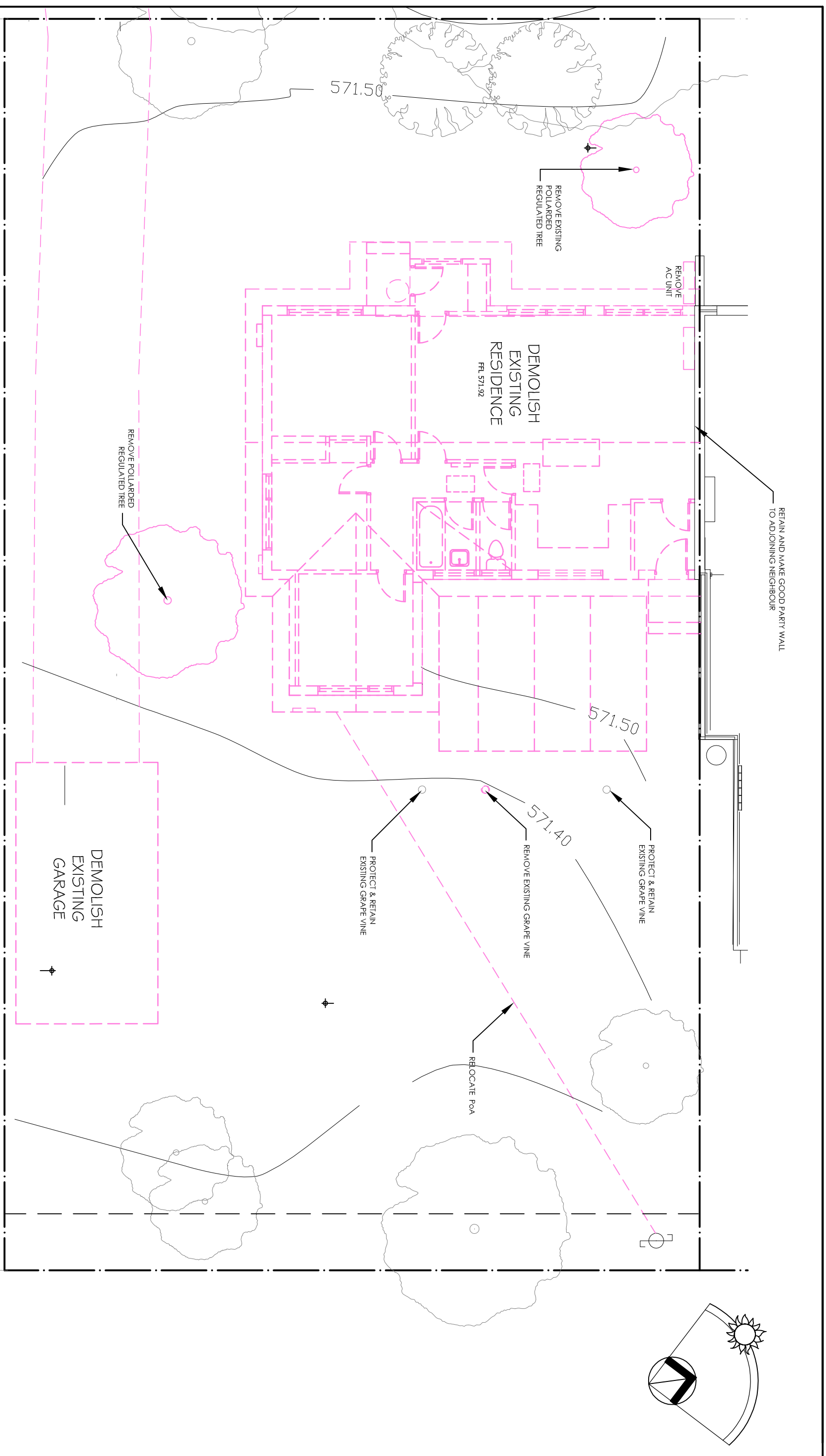
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SITE PLAN		
Block:	Section:	01 14
Job No:	Scale: 1:200 @ A3	
File Name:		
Drawn by:	Checked by:	
Date:		H



DEMOLITION PLAN

SCALE 1:100

EROSION/SEDIMENT CONTROL PLAN:

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007

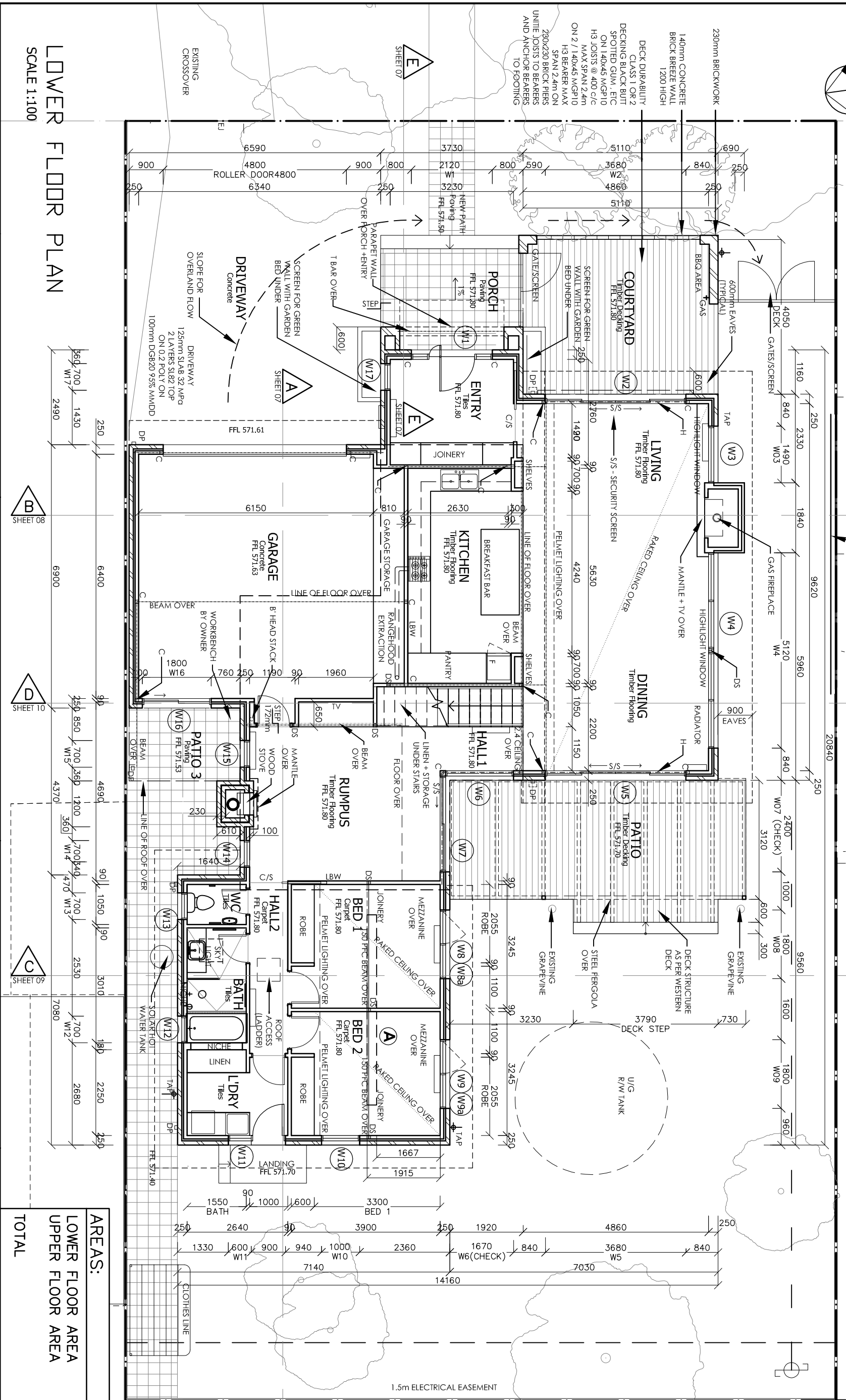
<p>JOHN SKURR CONSULTING ENGINEERS PTY LTD REG. COMPANY NAME FIRST CLASS FIRE ENGINEERS 14800 Unit 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60 PO Box 7172, Yarralumla, ACT 2600 PH 6282 4620 FAX 6282 4171 john@johnskurr.com.au</p>		<p>29 Earle Street Lyneham ACT 2602</p>	
<p>Allan Spira, Architect email: spira@webone.com.au</p>		<p>MOBILE: 0417 434 781</p>	
<p>AMENDMENTS</p>		<p>REVISION DATE DESCRIPTION</p>	
<p>H</p>		<p>22.01.15 FOR CONSTRUCTION</p>	
<p>G</p>		<p>18.11.14 DA - NOD</p>	
<p>F</p>		<p>09.07.14 TENDER DRAWINGS / ENGINEER NOTES</p>	
<p>E</p>		<p>17.06.14 DA SUBMISSION</p>	
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<p>C</p>		<p>16.04.14 PRE-TENDER</p>	
<p>B</p>		<p>19.03.14 FINAL DESIGN</p>	
<p>A</p>		<p>17.01.14 ORIGINAL DRAWINGS</p>	
<p>Knock-down and Re-build</p>		<p>DEMOLITION PLAN</p>	
<p>Block:</p>		<p>Section:</p>	
<p>Job No:</p>		<p>Scale: 1:100 @ A3</p>	
<p>File Name:</p>		<p>02</p>	
<p>Drawn by:</p>		<p>14</p>	
<p>Checked by:</p>		<p>H</p>	
<p>Date:</p>		<p>02</p>	

NOD AMENDMENTS:

REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

NOTE BRICKWORK TWE

C = 89 SHS 3.5 FULL HEIGHT COLUMN
DS = DOUBLE 90x45 STUD
LBW = LOAD BEARING WALL
H = 89 SHS 3.5 HORIZONTAL TRANSON
BEAM AT TOP OF SLIDING DOOR UNIT
WELDED TO COLUMN C EACH SIDE



LOWER FLOOR PLAN

SCALE 1:100

SHEET 08

SHEET 10

SHEET 09

SHEET 07

AREAS:

LOWER FLOOR AREA	211.2m ²
UPPER FLOOR AREA	65.5m ²
TOTAL	276.7m ²

SINGLE RESIDENCE

Knock-down and Re-build

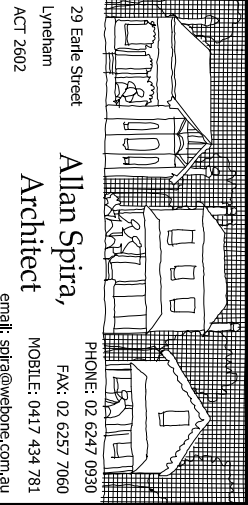
FLOOR PLAN

Block:	Section:
Job No:	Scale: 1:100 @ A3
File Name:	
Drawn by:	Checked by:
Date:	

03
14
H

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AMENDMENTS



JOHN SKURR
CONSULTING ENGINEERS PTY LTD
Unit 2, 23 Bondian Street, Yarralumla ACT 2600
PH 6282 4600 FAX 6282 4171
john@johnskurr.com.au

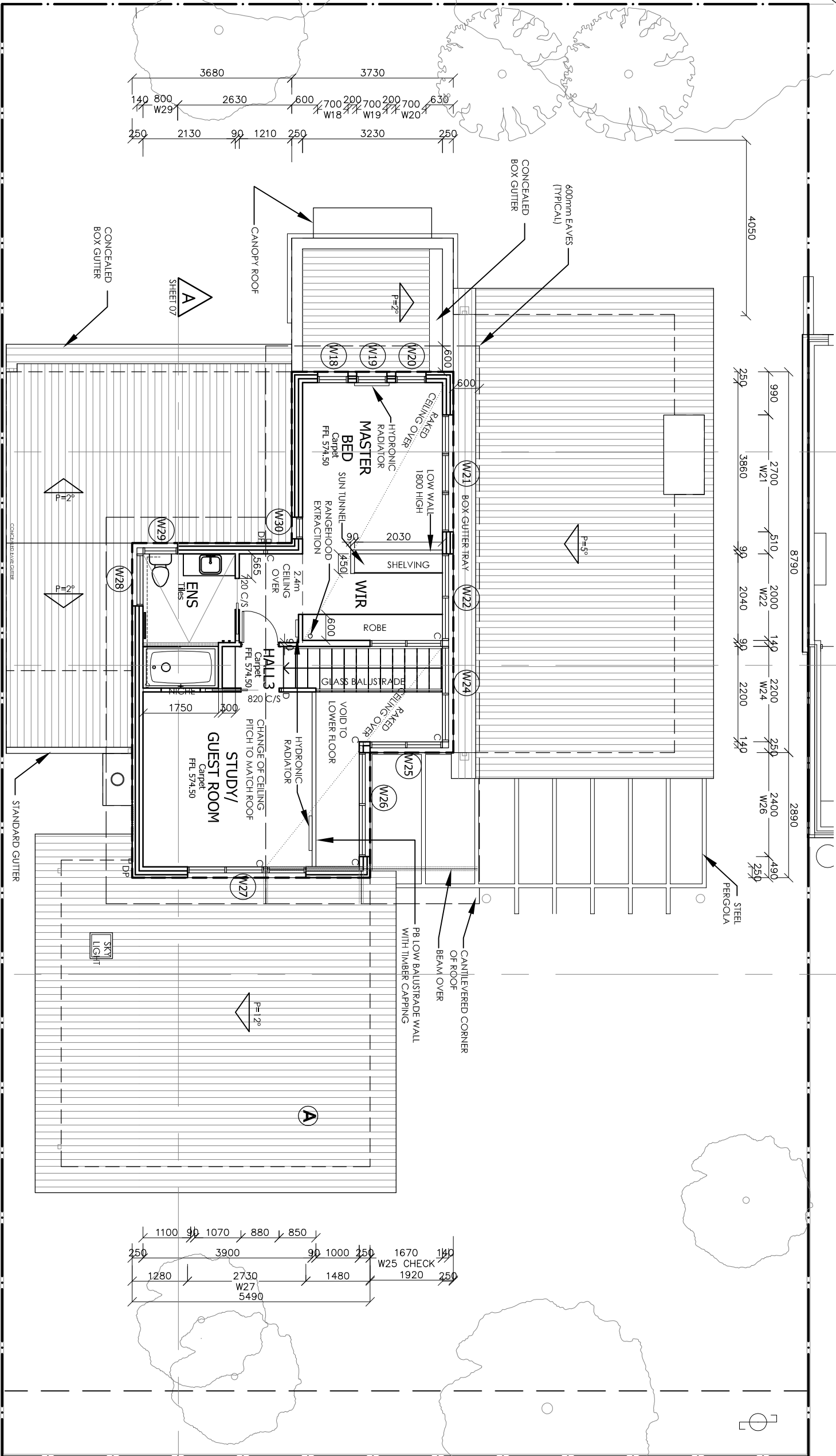
29 Eadie Street
Lynham
ACT 2602

Allan Spira,
Architect

PHONE: 02 6247 0930
FAX: 02 6257 7060
MOBILE: 0417 434 781
email: spira@webone.com.au

NOD AMENDMENTS:

REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL



UPPER FLOOR PLAN

SCALE 1:100

SHEET 08

SHEET 10

SHEET 09

SHEET 07

AREAS:

LOWER FLOOR AREA
UPPER FLOOR AREA

211.2m²
65.5m²

TOTAL

276.7m²

SINGLE RESIDENCE

Knock-down and Re-build

FLOOR PLAN

Block:	Section:	04
Job No:	Scale: 1:100 @ A3	14
File Name:	Checked by:	H
Drawn by:		
Date:		

H	22.01.15	FOR CONSTRUCTION
G	16.11.14	DA NOD
F	09.07.14	TENDER DRAWINGS / ENGINEER NOTES
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C	16.04.14	PRE-TENDER
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REVISION	DATE	DESCRIPTION

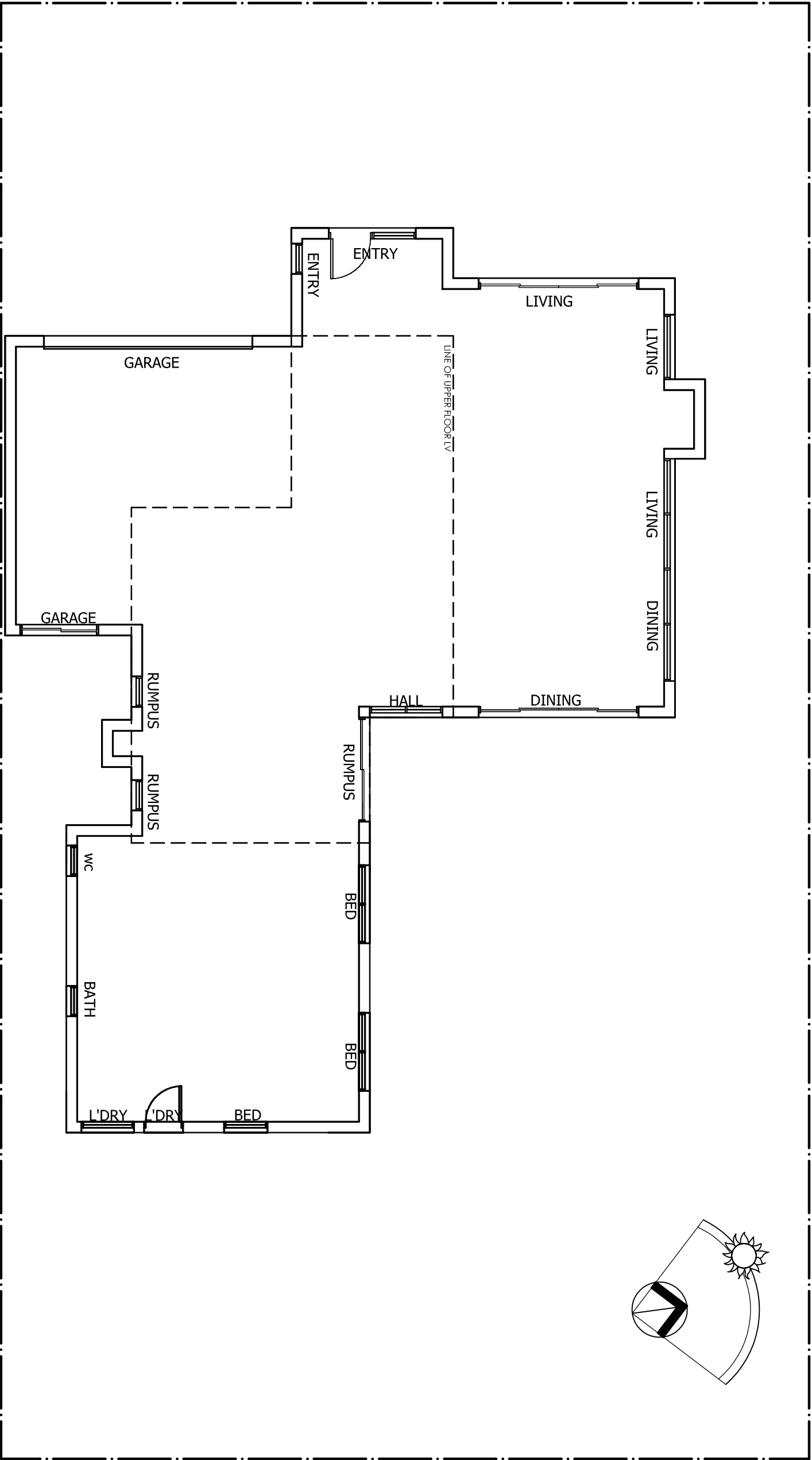
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Allan Spira,
Architect

PHONE: 02 6247 0930
FAX: 02 6257 7060
MOBILE: 0417 434 781
email: spira@webone.com.au

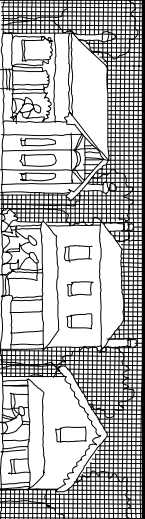


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CONSULTING ENGINEERS PTY LTD
Unit 2, 25 Bondian Street, Yarralumla ACT 2600
PO Box 7172, Yarralumla ACT 2600
PH 6282 4600 FAX 6282 4171
john@johnskurr.com.au



PUBLIC REGISTER -
LOWER FLOOR PLAN
SCALE 1:100

- 1. All work to Building Code of Australia.
- 2. All footings and slabs to AS 2870.
- 3. All footings 20kpa, slabs 25kpa.
- 4. All timber to AS 1684, to AS 3660.
- 5. All external walls to AS 1684.
- 6. All terrace protection to AS 3660.
- 7. All external walls to AS 1684.
- 8. All roof planes braced continuously with 1 meter each side of openings.
- 9. All roof planes braced continuously with 1 meter each side of openings.
- 10. All external wall planes braced continuously with 7m F8 or 4m F14 Type B ply to AS1684 1992.
- 11. Roof framing and heads by truss manufacturer.



29 Earle Street
Lynham
ACT 2602

Allan Spira,
Architect

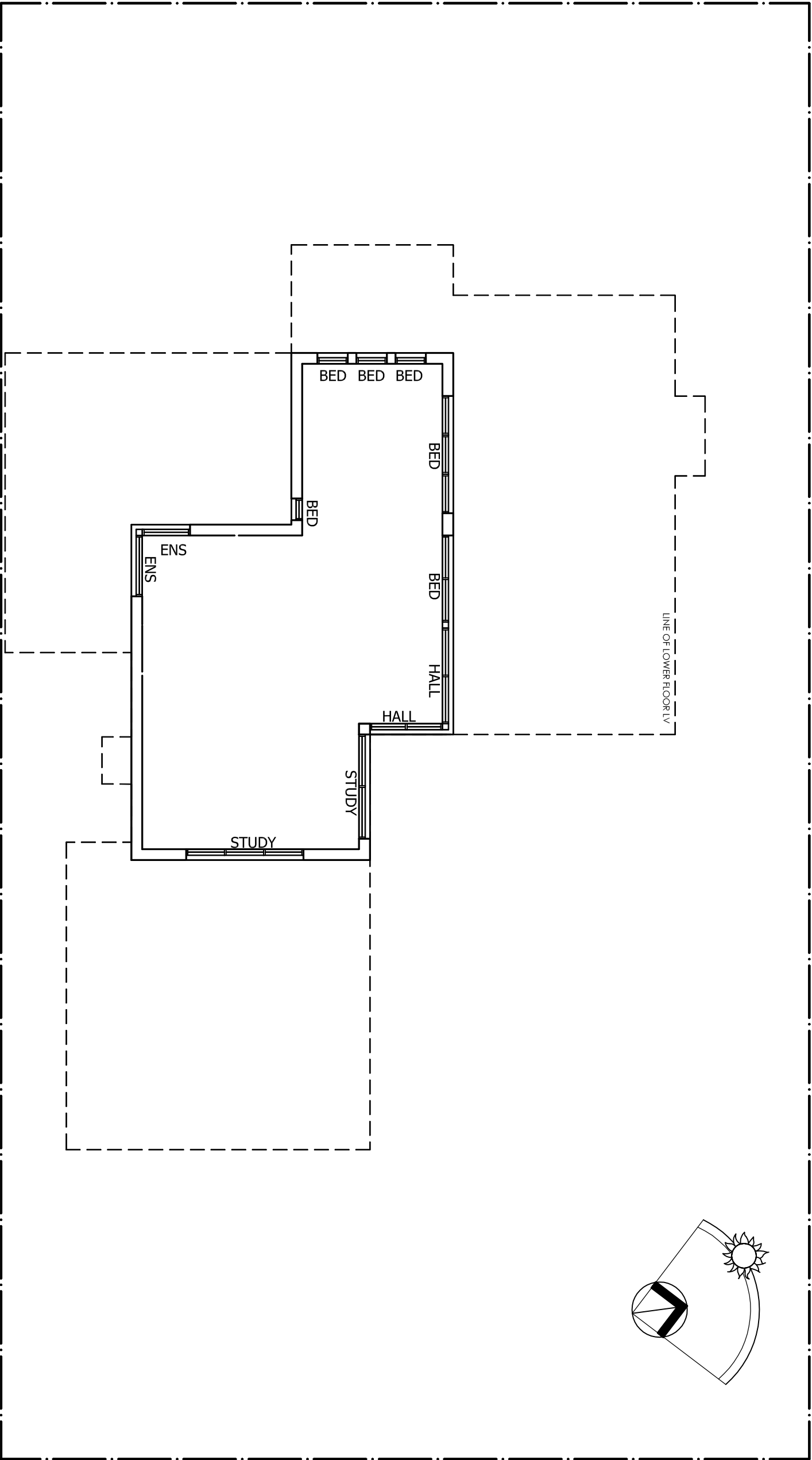
PHONE: 02 6247 0930
FAX: 02 6257 7060
MOBILE: 0417 434 781
email: spira@webone.com.au

REVISION	DATE	DESCRIPTION
H	22.01.15	FOR CONSTRUCTION
G	16.11.14	DA MOD
F	09.07.14	TENDER DRAWINGS / ENGINEER NOTES
E	17.06.14	DA SUBMISSION
D	02.05.14	PRE-TENDER NEW HOUSE
C	16.04.14	PRE-TENDER
B	19.03.14	FINAL DESIGN
A	17.01.14	ORIGINAL DRAWINGS

REVISION	DATE	DESCRIPTION
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B	19.03.14	FINAL DESIGN
A	17.01.14	ORIGINAL DRAWINGS

SINGLE RESIDENCE
Knock-down and Re-build

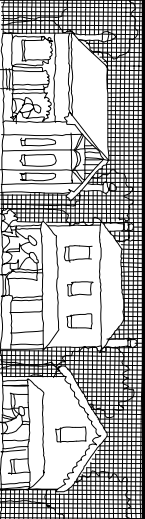
PUBLIC REGISTER - LOWER FLOOR PLAN		
Block:	Section:	03A
Job No:	Scale: 1:100 @ A3	14
File Name:	Checked by:	H
Drawn by:		
Date:		



PUBLIC REGISTER -
UPPER FLOOR PLAN

SCALE 1:100

1. All work to Building Code of Australia.
2. All footings and slabs to AS 2870.
3. All footings 20kpa, slabs 25kpa.
4. All timber to AS 1684.
5. All termite protection to AS 3660.
6. All external wall planes braced continuously with light gauge brick for every 4th course doubled up over windows and doors and to 1 meter each side of openings.
7. All demolition in accordance with AS 2601.
8. All roof planes braced each way
9. All external wall planes braced continuously with 7m F8 or 4m F14 Type B ply to AS1684 1992.
10. Roof framing and heads by truss manufacturer.



29 Eadie Street
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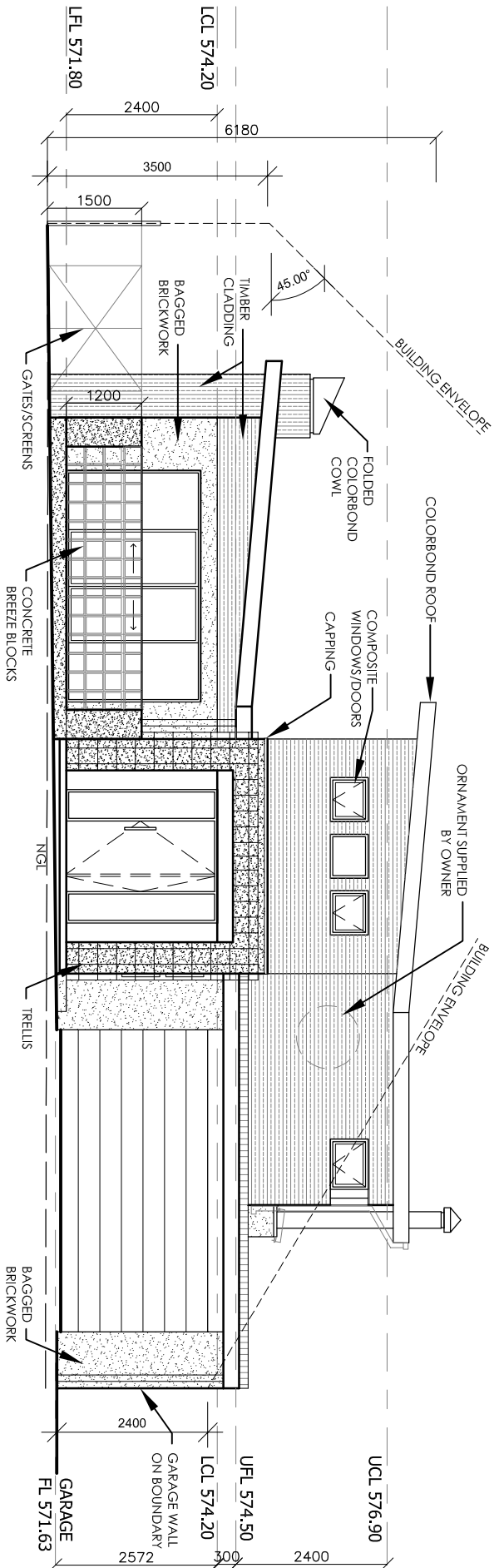
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email: spira@webone.com.au

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C	16.04.14	PRE-TENDER
B	19.03.14	FINAL DESIGN
A	17.01.14	ORIGINAL DRAWINGS

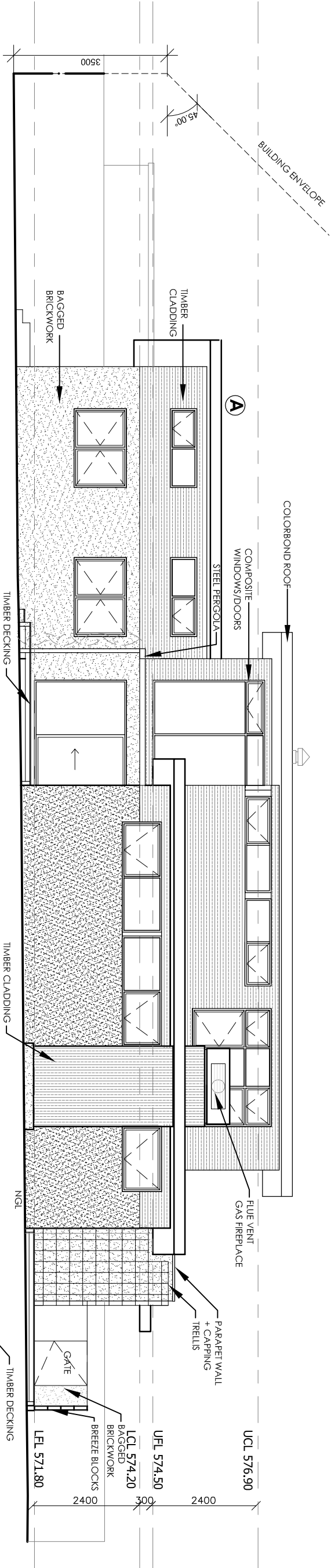
AMENDMENTS

SINGLE RESIDENCE
Knock-down and Re-build

PUBLIC REGISTER - UPPER FLOOR PLAN			04A 14
Block:	Section:		
Job No:	Scale: 1:100 @ A3		
File Name:			
Drawn by:	Checked by:		
Date:			H



WEST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

A REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

NOD AMENDMENTS:

SINGLE RESIDENCE
Knock-down and Re-build

ELEVATIONS

Block:	Section:
Job No:	Scale: 1:100 @ A3
File Name:	
Drawn by:	Checked by:
Date:	



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A	17.01.14	ORIGINAL DRAWINGS

AMENDMENTS

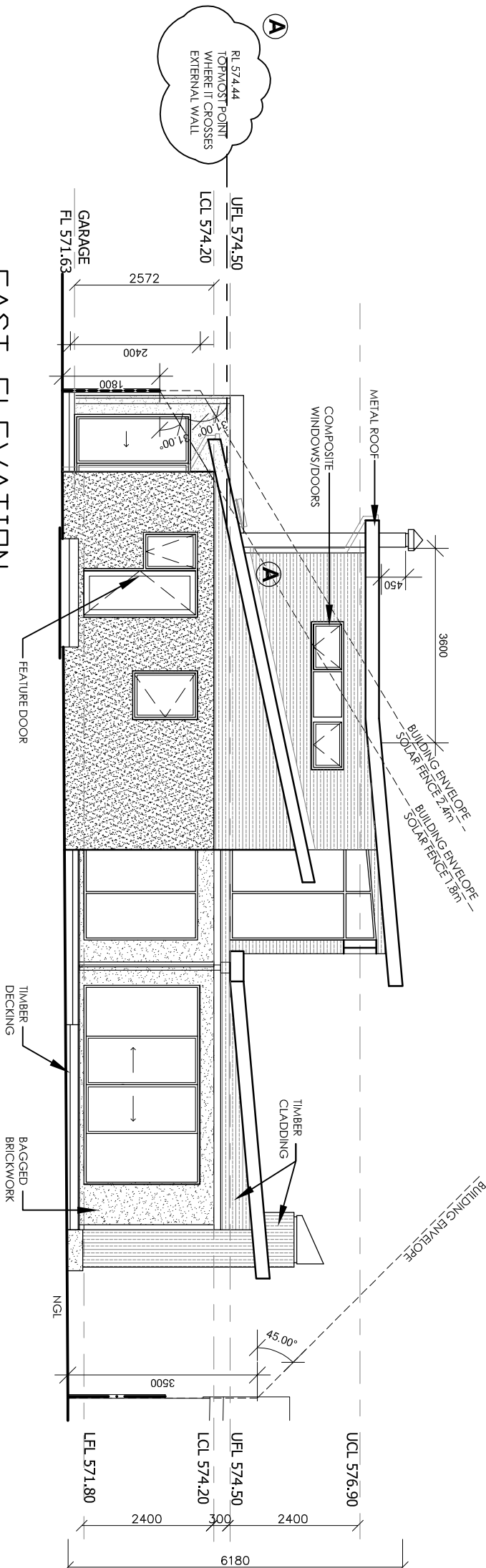
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14

H

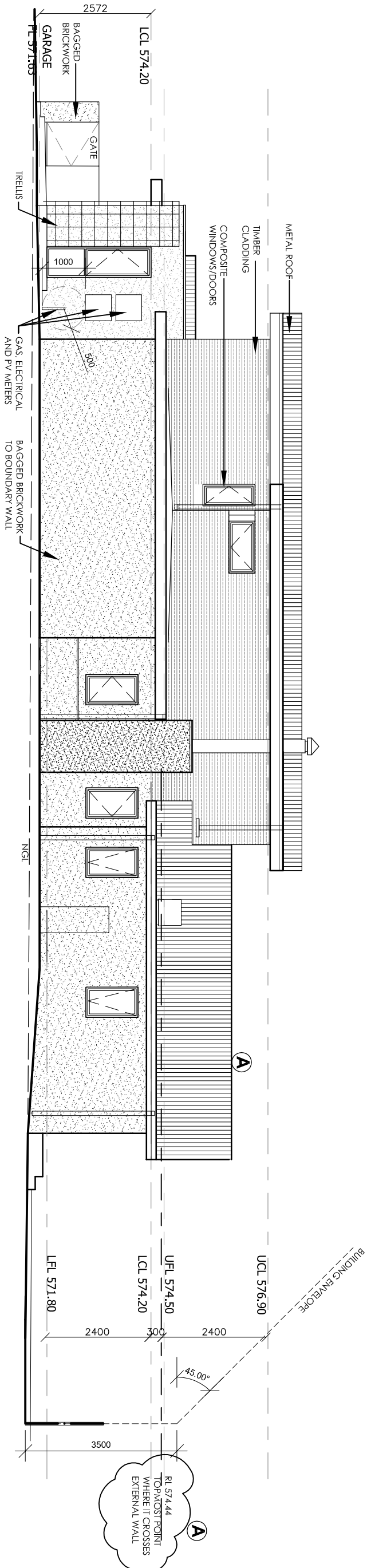
EAST ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100



NOD AMENDMENTS:

A REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

SINGLE RESIDENCE
Knock-down and Re-build

ELEVATIONS + SECTION

Block:	Section:	06
Job No:	Scale: 1:100 @ A3	14
File Name:		
Drawn by:	Checked by:	
Date:		

Block:	Section:	06
Job No:	Scale: 1:100 @ A3	14
File Name:		
Drawn by:	Checked by:	
Date:		

REVISION	DATE	DESCRIPTION
A	17.01.14	ORIGINAL DRAWINGS
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G	16.11.14	DA NOD
H	22.01.15	FOR CONSTRUCTION

29 Earle Street
Lynelham
ACT 2602

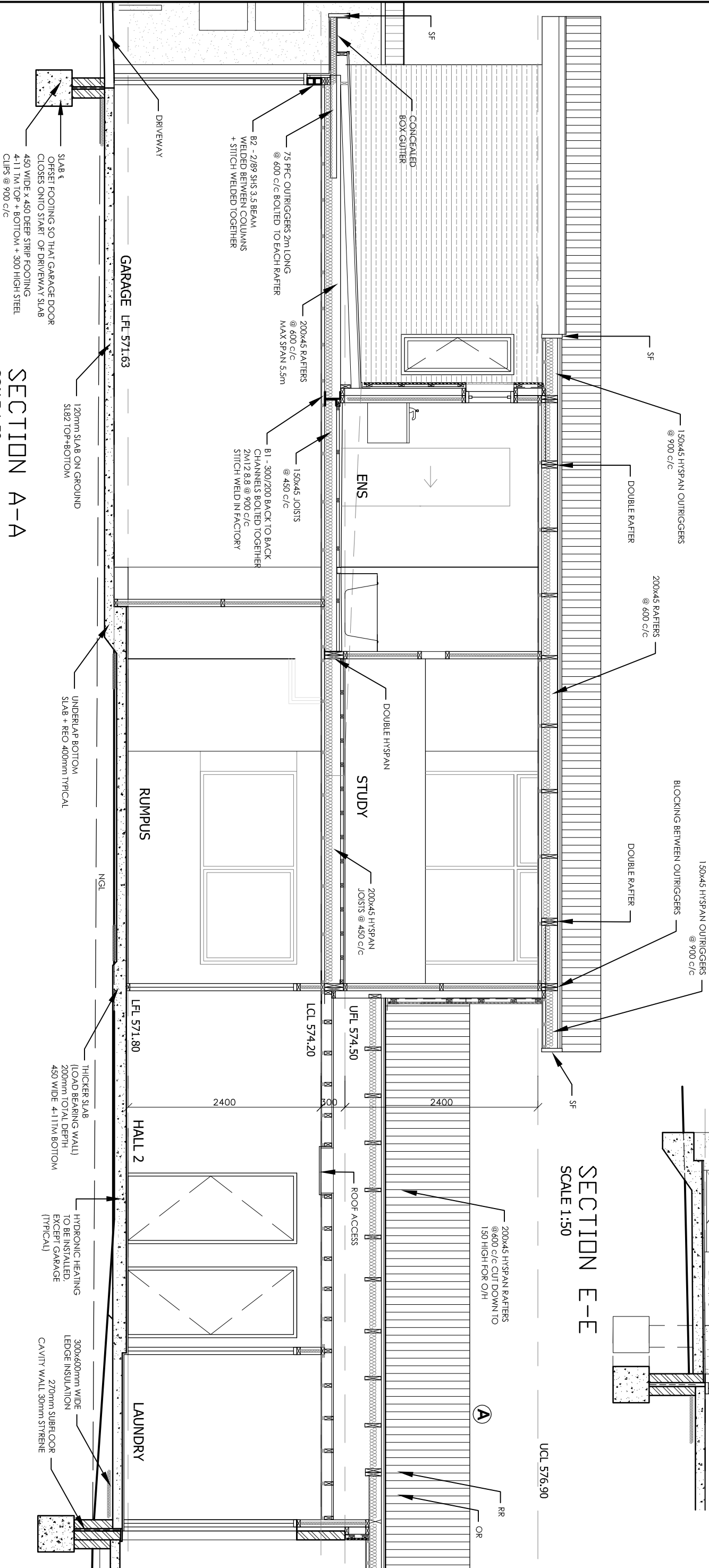
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NOD AMENDMENTS:

(A) REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL



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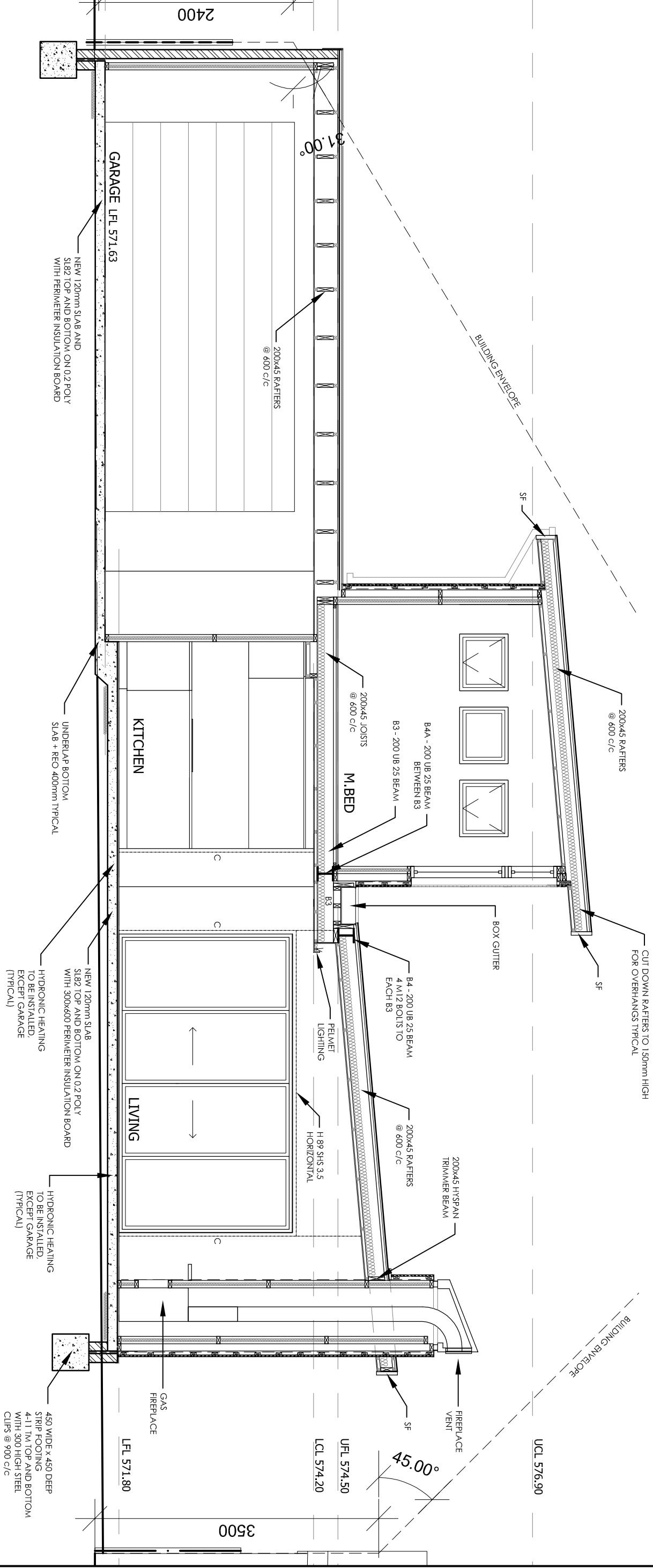
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AMENDMENTS

REVISION	DATE	DESCRIPTION
A	17.01.14	ORIGINAL DRAWINGS
B	19.03.14	FINAL DESIGN
C	16.04.14	PRE-TENDER
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G	16.11.14	DA NOD
H	22.01.15	FOR CONSTRUCTION

SINGLE RESIDENCE
Knock-down and Re-build

Block:	Section:	07 / 14
Job No:	Scale: 1:50 @ A3	
File Name:		
Drawn by:	Checked by:	
Date:		H



SECTION B-B
SCALE 1:50

SCALE 1:50

NOD AMENDMENTS:

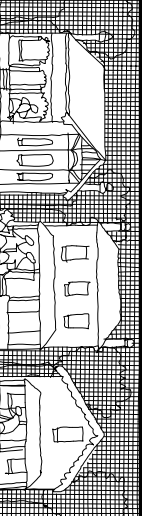
- A** REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

SINGLE RESIDENCE Knock-down and Re-build

H	22.01.15	FOR CONSTRUCTION
G	18.11.14	DA- NOD
F	09.07.14	TENDER DRAWINGS / ENGINEER NOTES
E	17.06.14	DA SUBMISSION
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C	16.04.14	PRE-TENDER
B	19.03.14	FINAL DESIGN
A	17.01.14	ORIGINAL DRAWINGS
REVISION	DATE	DESCRIPTION

SECTION B-B			
Block:	Section:	08	
Job No:	Scale: 1:50 @ A3	14	
File Name:			
Drawn by:	Checked by:		
Date:		H	

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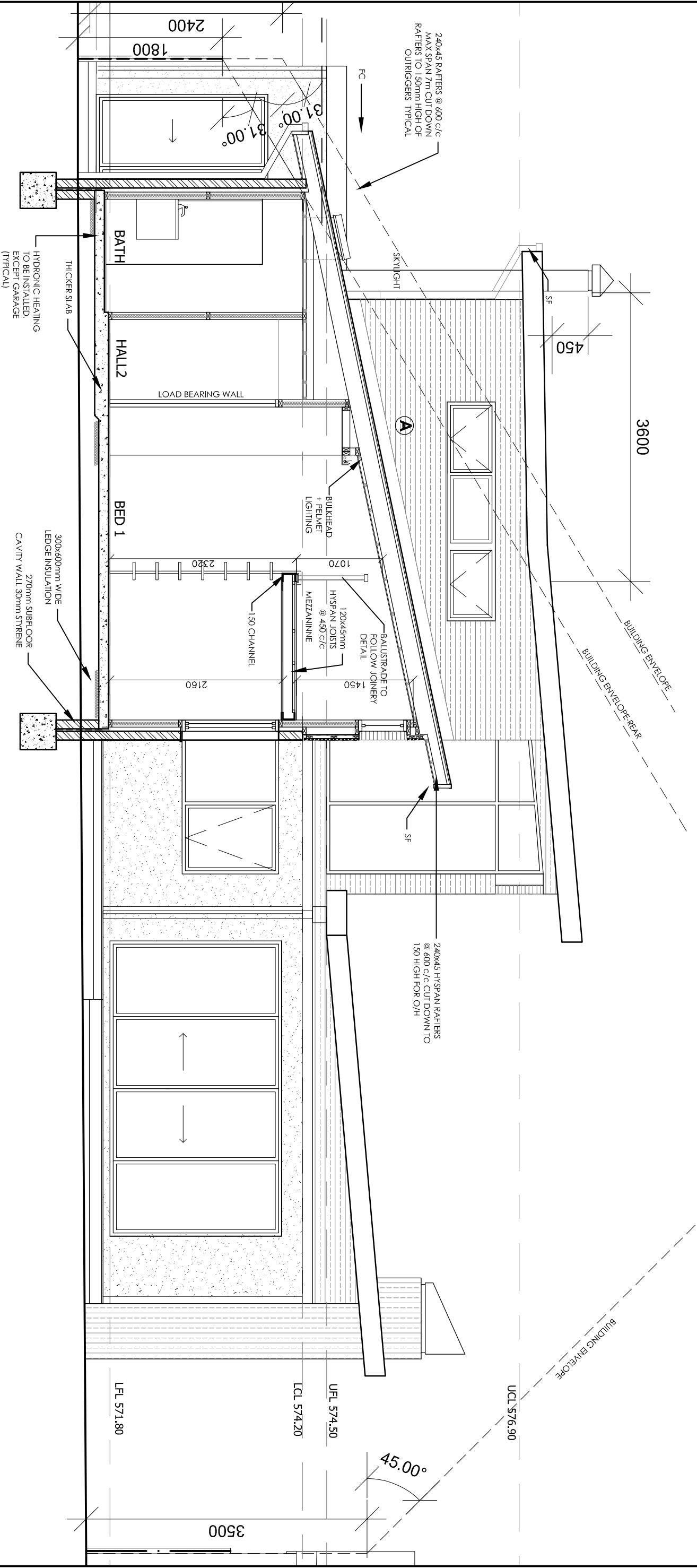


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spira@webone.com.au

REVISION	DATE	DESCRIPTION
A	17.01.14	ORIGINAL DRAWINGS



SECTION C-C

SCALE 1:50

NOD AMENDMENTS:

A REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

SINGLE RESIDENCE

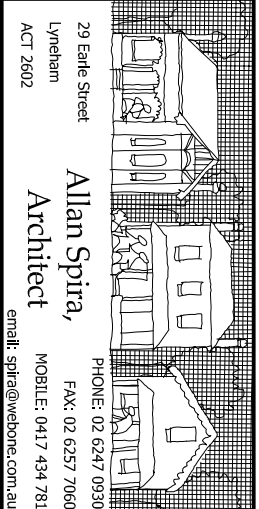
Knock-down and Re-build

SECTION C-C

Block:	Section:	09
Job No:	Scale: 1:50 @ A3	14
File Name:	Checked by:	H
Drawn by:		
Date:		

H	22.01.15	FOR CONSTRUCTION
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A	17.01.14	ORIGINAL DRAWINGS
REVISION	DATE	DESCRIPTION

AMENDMENTS

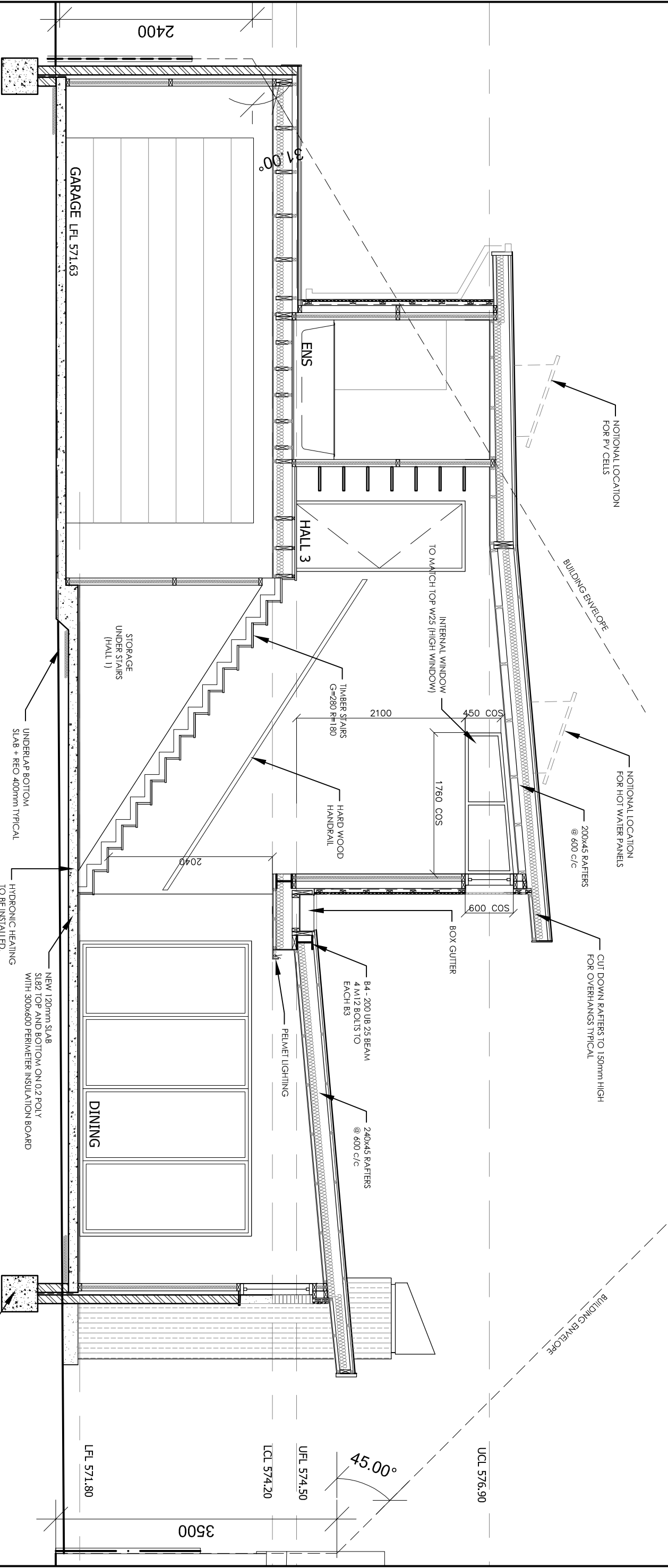


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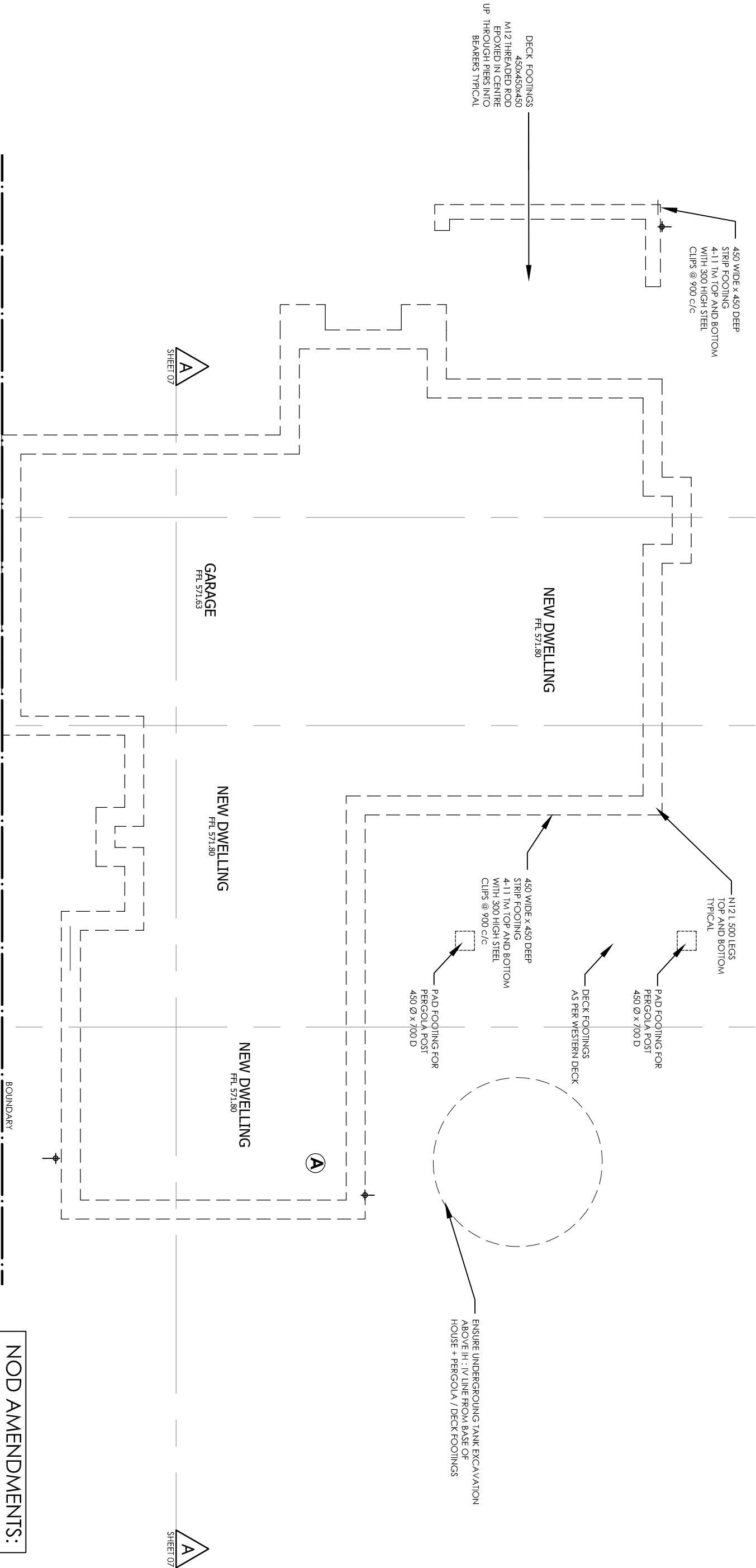
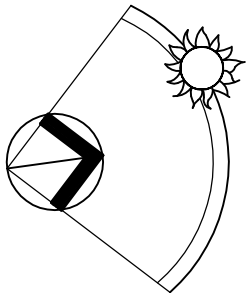


SECTION D-D
SCALE 1:50

NOD AMENDMENTS:

A REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

<p>CONSULTING ENGINEERS PTY LTD Unit 2, 25 Bonham Street, Yarralumla, ACT 2600 PH 6282 4600 FAX 6282 4171 john@johnskurr.com.au</p> <p>JOHN SKURR</p>		 <p>29 Eadie Street Lyneham ACT 2602</p> <p>Allan Spira, Architect</p> <p>PHONE: 02 6247 0930 FAX: 02 6257 7060 MOBILE: 0417 434 781 email: spira@webone.com.au</p>																									
<p>REVISION DATE DESCRIPTION</p> <table><tr><td>A</td><td>17.01.14</td><td>ORIGINAL DRAWINGS</td></tr><tr><td>B</td><td>19.03.14</td><td>FINAL DESIGN</td></tr><tr><td>C</td><td>16.04.14</td><td>PRE-TENDER</td></tr><tr><td>D</td><td>02.05.14</td><td>PRE-TENDER NEW HOUSE</td></tr><tr><td>E</td><td>17.06.14</td><td>DA SUBMISSION</td></tr><tr><td>F</td><td>09.07.14</td><td>TENDER DRAWINGS / ENGINEER NOTES</td></tr><tr><td>G</td><td>16.11.14</td><td>DA NOD</td></tr><tr><td>H</td><td>22.01.15</td><td>FOR CONSTRUCTION</td></tr></table>		A	17.01.14	ORIGINAL DRAWINGS	B	19.03.14	FINAL DESIGN	C	16.04.14	PRE-TENDER	D	02.05.14	PRE-TENDER NEW HOUSE	E	17.06.14	DA SUBMISSION	F	09.07.14	TENDER DRAWINGS / ENGINEER NOTES	G	16.11.14	DA NOD	H	22.01.15	FOR CONSTRUCTION	<p>SINGLE RESIDENCE Knock-down and Re-build</p>	
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<p>Block:</p> <p>Job No:</p> <p>File Name:</p> <p>Drawn by:</p> <p>Date:</p>		<p>Section:</p> <p>Scale: 1:50 @ A3</p> <p>Checked by:</p>																									
		<p>10 / 14</p> <p>H</p>																									



FOOTING PLAN

SCALE 1:100



SOIL CLASSIFICATION: FOUNDATION CLASS S

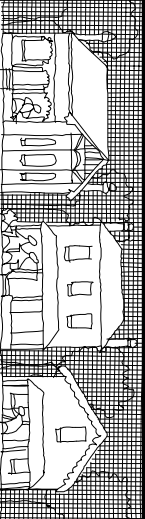
NOD AMENDMENTS:

- A** REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

SINGLE RESIDENCE Knock-down and Re-build

Block:	Section:	11
Job No:	Scale: 1:100 @ A3	14
File Name:	Checked by:	H
Drawn by:		
Date:		

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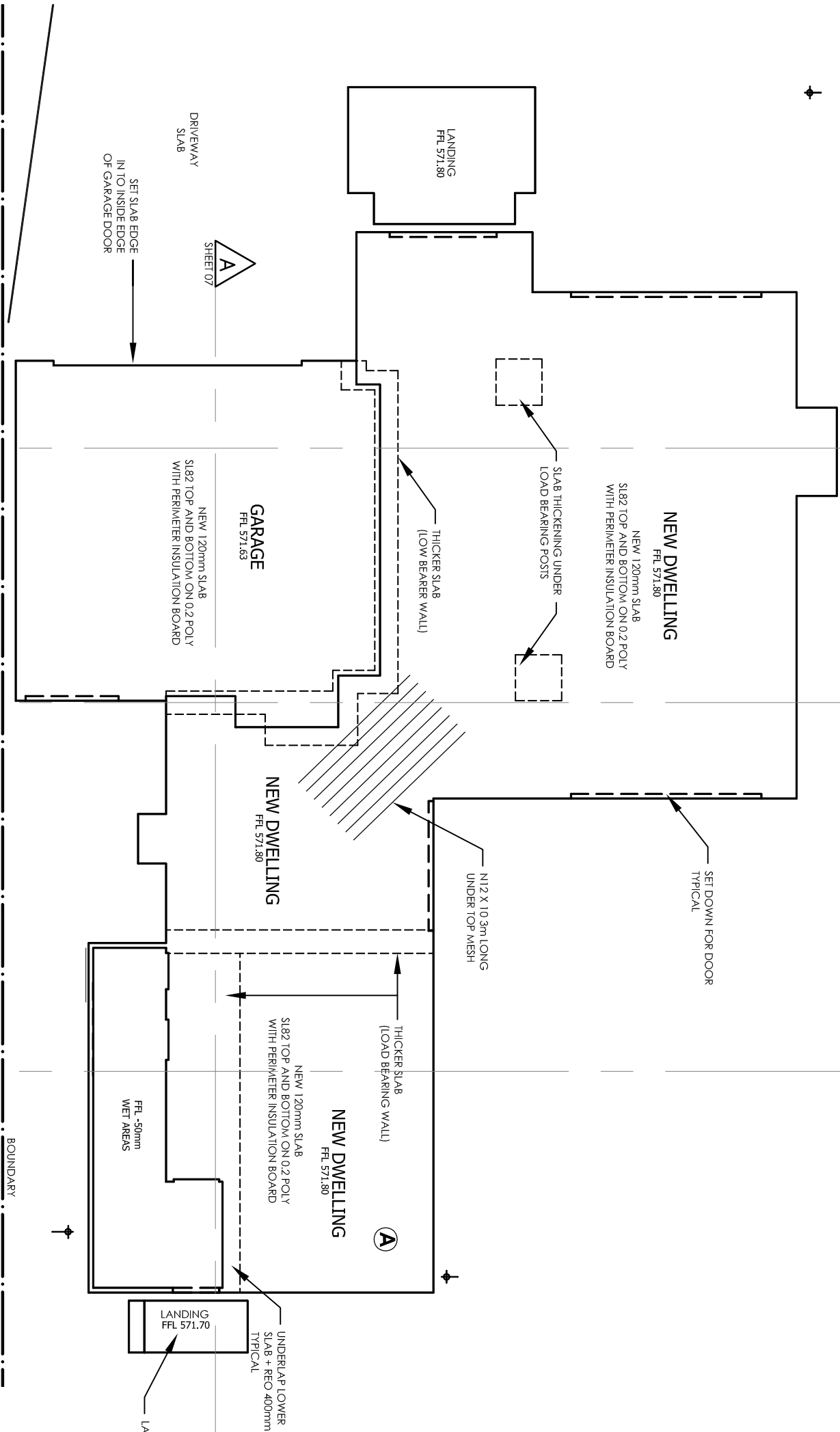
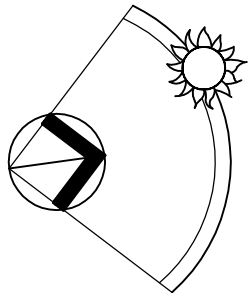
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A	17.01.14	ORIGINAL DRAWINGS

AMENDMENTS



FOR CONCRETE NOTES
REFER TO DWG C1

NOTE:
HYDRONIC HEATING TO BE
INSTALLED, EXCEPT GARAGE,
PORCH AND LANDING

NOD AMENDMENTS:

- A** REDUCE ALL FLOOR LEVELS + RE-DESIGN
ROOF TO ACHIEVE RL 574.44 AT THE
TOPMOST POINT OF THE ROOF WHERE IT
CROSSES THE EXTERNAL WALL

SLAB PLAN

SCALE 1:100

B
SHEET 08

D
SHEET 10

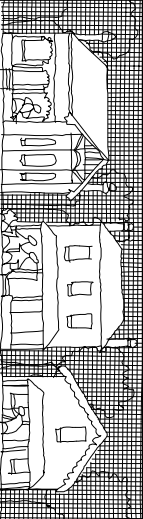
C
SHEET 09

A
SHEET 07

SOIL CLASSIFICATION: FOUNDATION CLASS S

SLAB PLAN

Block:	Section:	12
Job No:	Scale: 1:100 @ A3	14
File Name:	Checked by:	H
Drawn by:		
Date:		



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29 Eadie Street
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ACT 2602

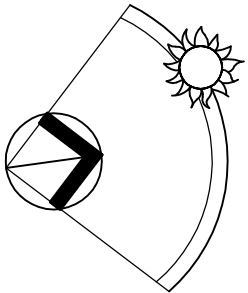
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REVISION	DATE	DESCRIPTION
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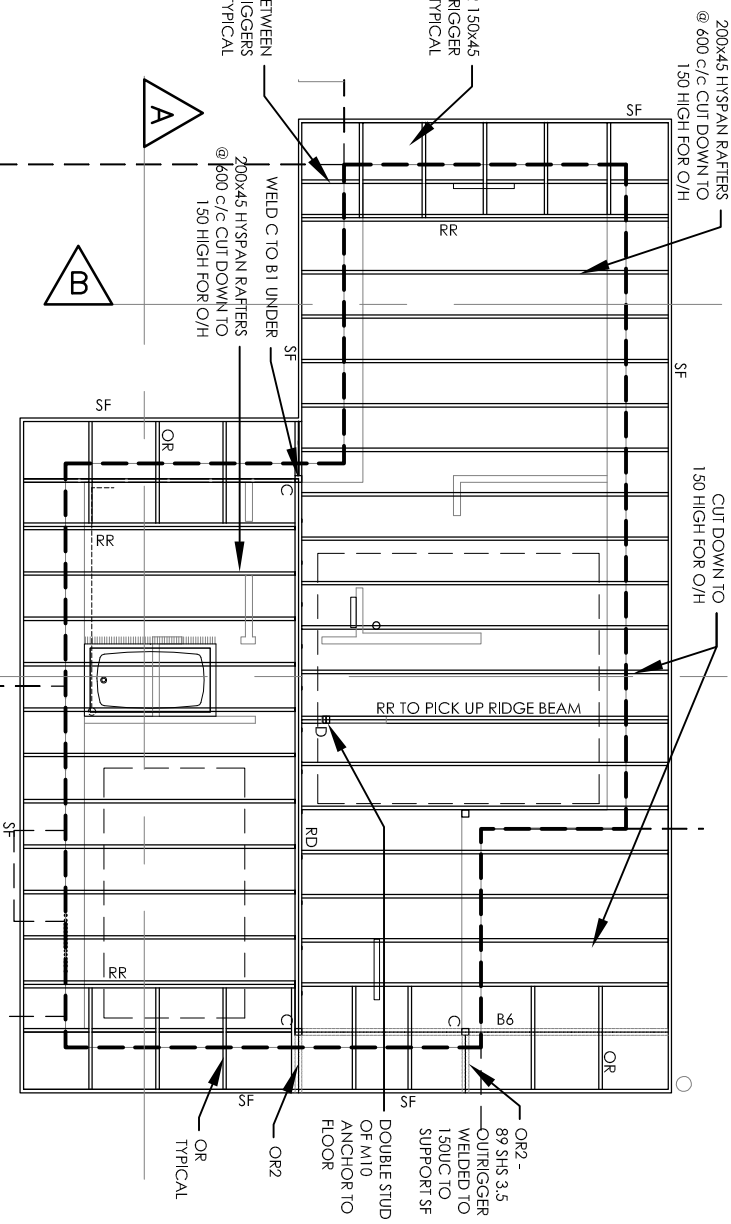
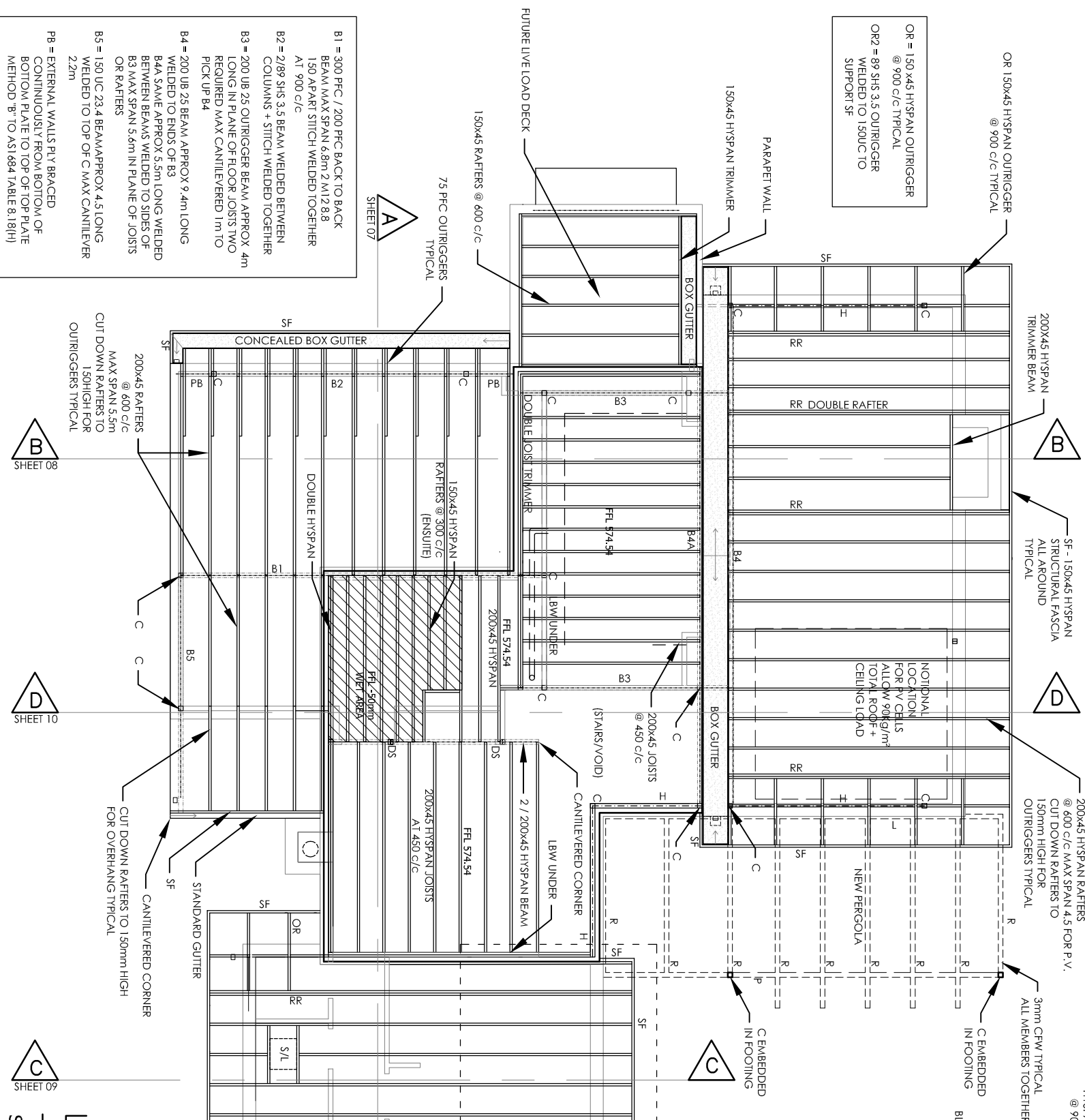
SINGLE RESIDENCE Knock-down and Re-build

Block:	Section:	12
Job No:	Scale: 1:100 @ A3	14
File Name:	Checked by:	H
Drawn by:		
Date:		



C = 89 SHS 3.5 FULL HEIGHT COLUMN TO 25M/100k12 R
BASE PLATE AND 2M12 EPOXY ANCHORS TO
SLAB EXTENDING TO FULL HEIGHT OF ROOF
DS = DOUBLE 90x45 MGP10 H2 STUDS
DOUBLE 30x60 TYPE B CROSS ROOF
BRACING REQUIRED EACH AREA
CUT NOT SHOWN
H = HORIZONTAL 89 SHS 3.5 AT UPPER LEVEL
3m CFW TO C

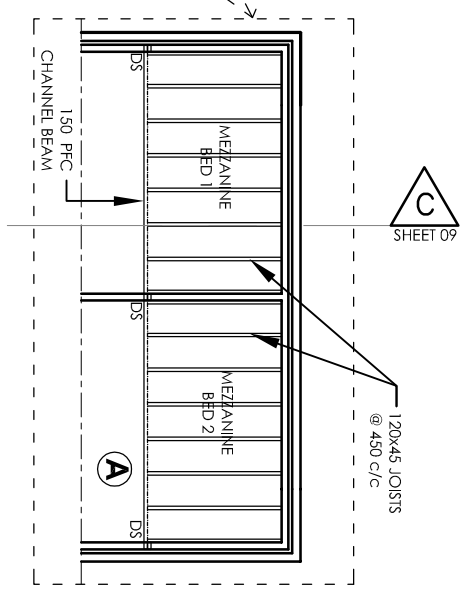
PERGOLA:
PAINT TWO COATS R02Z PRIMER +
2 COATS HIGH BUILD ENAMEL
L = 100x50x4 LEDGER M12 ANCHORED
TO WALL @ 900 C/C (ROUGH HOLES/AM HO)
P = FRONT PERIMETER BEAM P
P-150x100x4 R15 WELDED TO TOP OF POSTS
R = 100x50x4 R15 RAFTERS



UPPER LEVEL
ROOF FRAMING PLAN
SCALE 1:100

B6 = 150 UC 23.4 BEAM APPROX 4.8m LONG
IN PLANE OF OUTRIGGERS MAX
CANTILEVER 2.6m

RD = RIDGE BEAM 2 / 240x45 HYSBAN IN
PLANE OF RAFTERS APPROX 8.6m LONG
MAX SPAN 4m AND CUT DOWN TO
150mm HIGH FOR O/H



MEZZANINE FLOOR
FRAMING PLAN
SCALE 1:100

NOD AMENDMENTS:

A REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

LOWER LEVEL ROOF FRAMING
+ UPPER LEVEL FLOOR FRAMING
SCALE 1:100


SINGLE RESIDENCE Knock-down and Re-build

H	22.01.15	FOR CONSTRUCTION
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	REVISION	DESCRIPTION

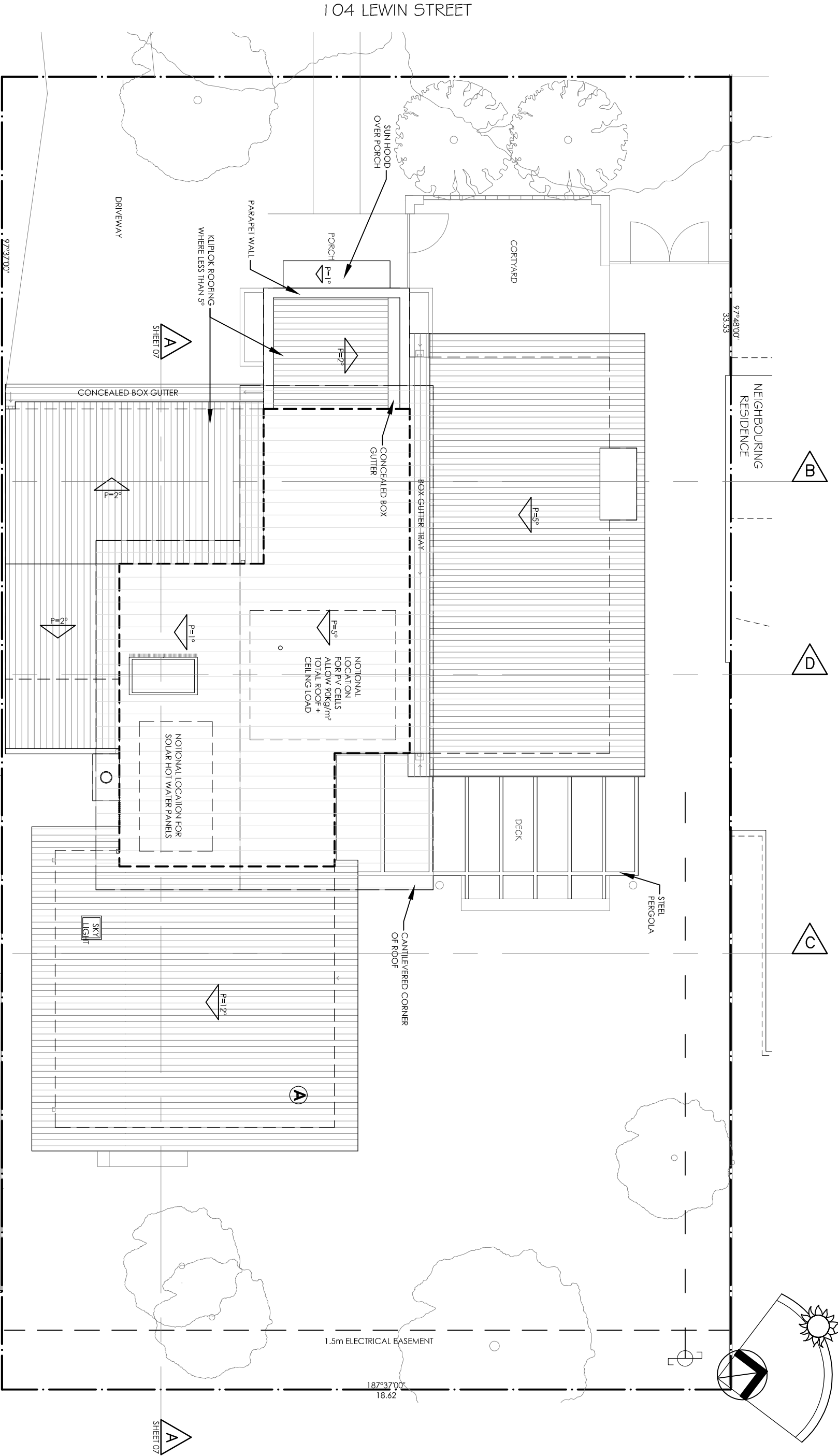
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john@robbedy.com.au



ROOFING PLAN

SCALE 1:200

B
SHEET 08

D
SHEET 10

C
SHEET 09

A
SHEET 07

A
SHEET 07

NOD AMENDMENTS:

- A** REDUCE ALL FLOOR LEVELS + RE-DESIGN ROOF TO ACHIEVE RL 574.44 AT THE TOPMOST POINT OF THE ROOF WHERE IT CROSSES THE EXTERNAL WALL

SINGLE RESIDENCE
Knock-down and Re-build

ROOFING PLAN

Block:	Section:	14
Job No:	Scale: 1:200 @ A3	14
File Name:	Checked by:	H
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Date:		

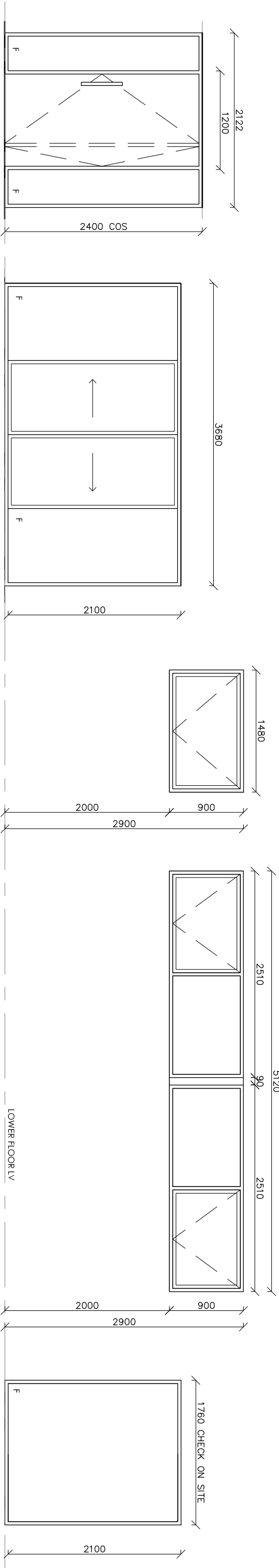
REVISION	DATE	DESCRIPTION
A	17.01.14	ORIGINAL DRAWINGS
B	19.03.14	FINAL DESIGN
C	16.04.14	PRE-TENDER
D	02.05.14	PRE-TENDER NEW HOUSE
E	17.06.14	DA SUBMISSION
F	09.07.14	TENDER DRAWINGS / ENGINEER NOTES
G	16.11.14	DA NOD
H	22.01.15	FOR CONSTRUCTION

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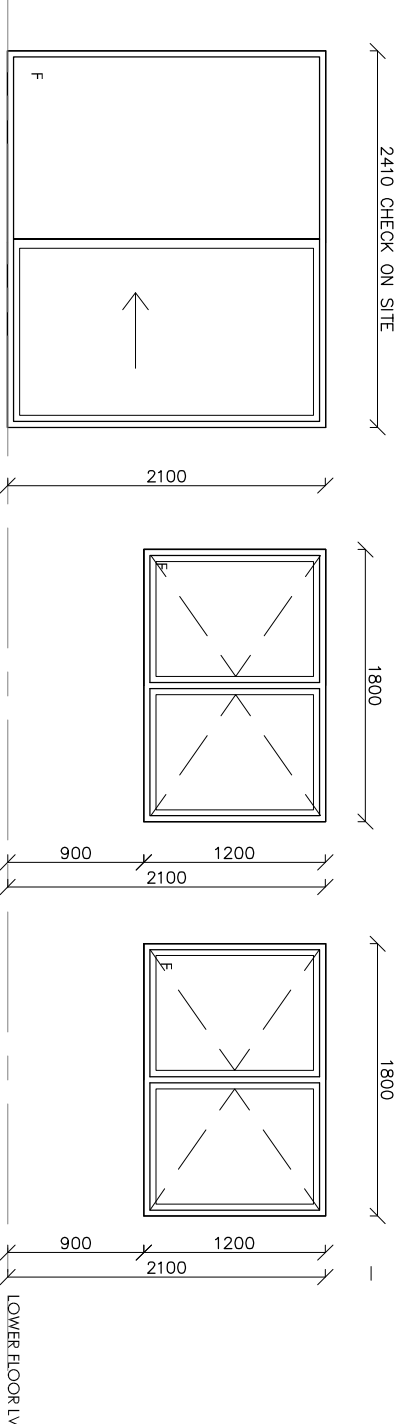
W1: ENTRY
TO SUIT 1200 PIVOT DOOR
BY OTHERS

W2: LIVING
W5: LIVING
SECURITY SCREENS

W3: LIVING
ELECTRIC OPENING

W4: DINING
ELECTRIC OPENING

W6: HALL01

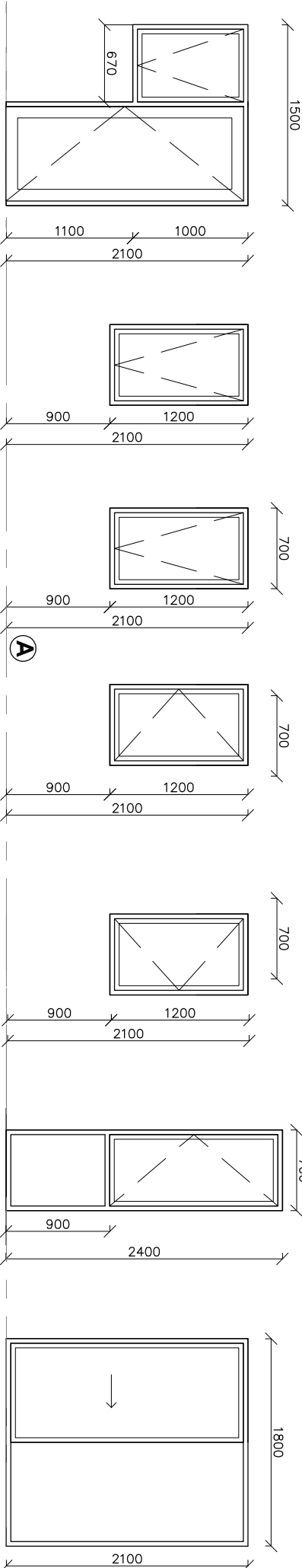


W7: RUMPUS
SECURITY SCREENS

W8: BED 1
A

W9: BED 1
A

W10: BED 2
A



W11: LAUNDRY
GLAZED DOOR BY WINDOW SUPPLIER
A

W12: BATH
TRANSLUCENT GLASS
A

W13: WC
A

W14: RUMPUS
A

W15: RUMPUS
A

W16: GARAGE
A

W17: ENTRY
A

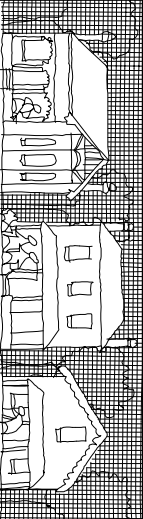
NOTES

- ALL UNITS VIEWED FROM OUTSIDE
- DOUBLE GLAZED COMPOSITE WINDOWS + EXTERNAL DOORS
- FLY SCREEN TO ALL OPENING SASHES
- COLOUR - TBC
- HARDWARE - TBC
- ALL WINDOWS TO BE KEY LOCKABLE AND KEYED ALIKE
- DOUBLE GLAZED UNITS TO BE 4/12/4 MINIMUM CONFIGURATION

ALL WINDOWS SIZES TO BE CONFIRMED PRIOR TO ORDERING + MAY NEED TO BE RESIZED TO SUIT BRICK OPENINGS

AMENDMENTS:

- A RECONFIGURATION OF BED1 AND BED2 + WET AREAS
- B REPLACEMENT SPECIMEN TREES



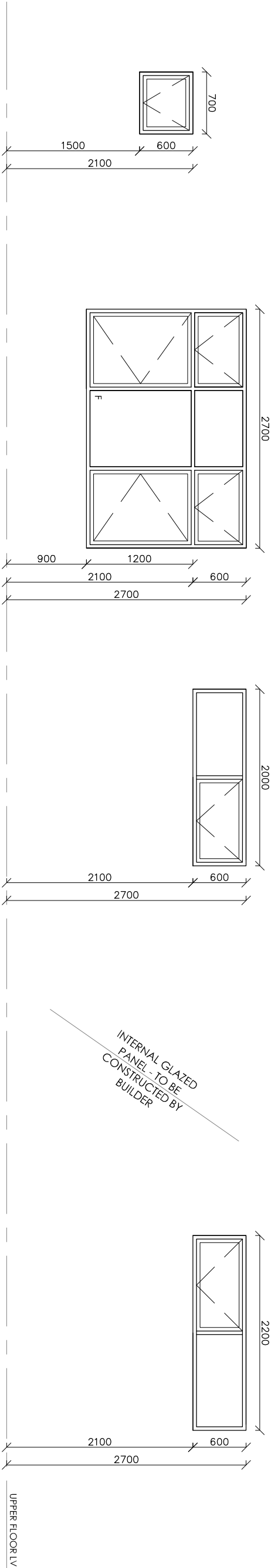
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SINGLE RESIDENCE Knock-down and Re-build

WINDOW SCHEDULE - LOWER LV			
Block:	Section:		W1
Job No:	Scale: 1:50 @ A3		14
File Name:			
Drawn by:	Checked by:		
Date:			H



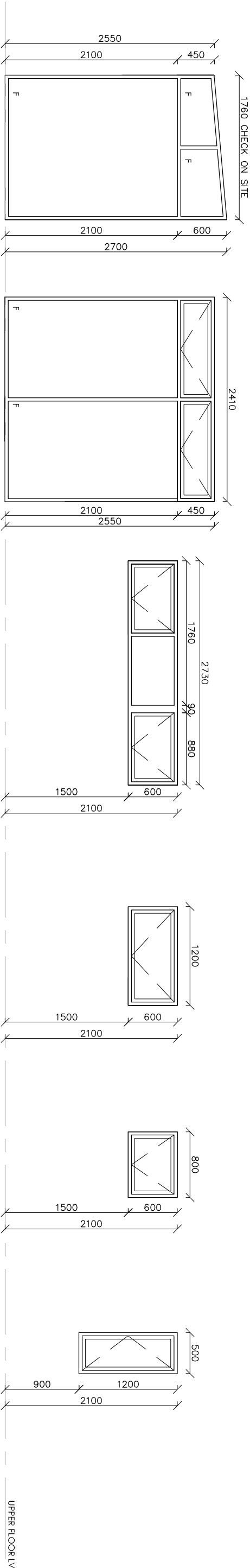
W18: MAST.BED
W19: MAST.BED
W20: MAST.BED
SCALE 1:50

W21: MAST.BED
SCALE 1:50
ELECTRIC OPENING TO HIGHLIGHTS

W22: WIR
SCALE 1:50
ELECTRIC OPENING

W23: WIR
SCALE 1:50

W24: HALL1
SCALE 1:50
ELECTRIC OPENING



W25: HALL1
SCALE 1:50

W26: STUDY
SCALE 1:50
ELECTRIC OPENING

W27: STUDY
SCALE 1:50

W28: ENS
SCALE 1:50

W29: ENS
SCALE 1:50

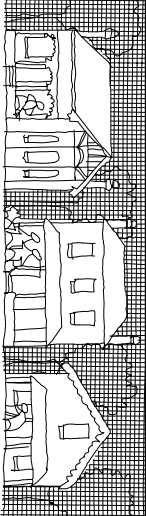
W30: MAST.BED
SCALE 1:50

ALL WINDOWS SIZES TO BE CONFIRMED PRIOR TO ORDERING + MAY NEED TO BE RESIZED TO SUIT BRICK OPENINGS

- NOTES
- ALL UNITS VIEWED FROM OUTSIDE
 - DOUBLE GLAZED COMPOSITE WINDOWS + EXTERNAL DOORS
 - FLY SCREEN TO ALL OPENING SASHES
 - COLOUR - TBC
 - HARDWARE - TBC
 - ALL WINDOWS TO BE KEY LOCKABLE AND KEYED ALIKE
 - DOUBLE GLAZED UNITS TO BE 4/12/4 MINIMUM CONFIGURATION

AMENDMENTS:

- A** RECONFIGURATION OF BED1 AND BED2 + WET AREAS
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SINGLE RESIDENCE

Knock-down and Re-build

WINDOW SCHEDULE - UPPER LV

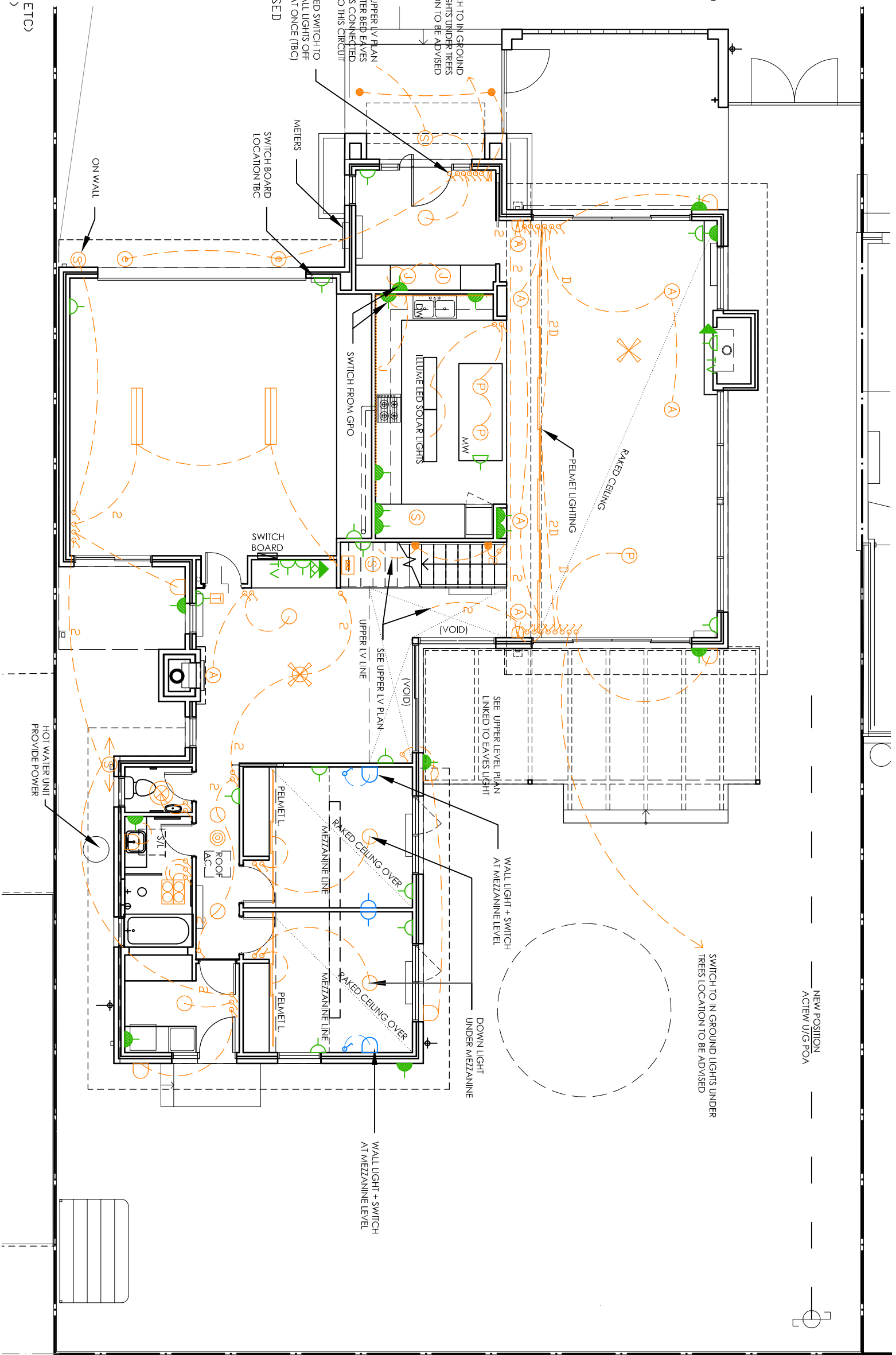
Block:	Section:	W2
Job No:	Scale: 1:50 @ A3	14
File Name:		
Drawn by:	Checked by:	
Date:		H

LEGEND

- | | |
|---|---|
|  | ADJUSTABLE/TILT TABLE |
|  | DIMMER |
|  | SWITCH |
|  | TWO WAY |
|  | TV OUTLETS |
|  | TELEPHONE |
|  | DATA |
|  | DOUBLE POWER POINT |
|  | DOUBLE POWER POINT<BENCH HEIGHT> |
|  | EXTERNAL DOUBLE POWER POINT |
|  | SMOKE ALARM |
|  | EXHAUST FAN / LIGHT |
|  | EXHAUST FAN |
|  | CEILING FAN |
|  | LIGHT/CEILING FAN |
|  | LED DOWNLIGHTS <CEILING LIGHTS> |
|  | FULLY INSULATED |
|  | LED ADJUSTABLE <DIRECTIONAL> |
|  | CEILING LIGHT - FULLY INSULATED |
|  | PENDANTS |
|  | JOINERY LIGHT |
|  | STRIP LIGHT IN JOINERY |
|  | SENSOR LIGHT |
|  | EAVES LIGHT - ADJUSTABLE |
|  | FLUORESCENT FOR GARAGE |
|  | FLUORESCENT OR LED
<PELMET LIGHTING> |
|  | WALL LIGHT 1900 HIGH OR AS ADVISED |
|  | WALL LIGHT 350 HIGH |
|  | HEATING LIGHT/EXHAUST FAN/LIGHT |
|  | STEPS WALL LIGHT 350 HIGH |
|  | IN GROUND LIGHT |
|  | THERMOSTAT |
|  | HYDRONIC HEATING |
|  | AT MEZZANINE |

NOTES:

- ALLOW FOR POWER TO APPLIANCES WHERE NOT SHOWN (WASHING MACHINE, FRIDGE, MICROWAVE, ETC)
- + FUTURE DRYER (BESIDE W/M-LAUNDRY)
- NEW TV OUTLETS TO BE CONNECTED TO DIGITAL ANTENNA + FOXTEL (TBC)
- HYDRONIC HEATING TO LOWER LEVEL
- SOLAR AIR CONDITIONING TO UPPER LEVEL
- PROVIDE POWER FOR GARAGE DOOR, ELECTRIC WINDOWS (AS PER SCHEDULE)
- AND WATER TANK PUMP



LOWER LV ELECTRICAL PLAN
SCALE 1:100

AMENDMENTS		REVISION DATE DESCRIPTION	
A		17.01.14	FINAL DESIGN
B		19.03.14	ORIGINAL DRAWINGS
C		16.04.14	PRE-TENDER NEW HOUSE
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F		09.07.14	TENDER DRAWINGS / ENGINEER NOTES
G		18.11.14	DA-NOD
H		22.01.15	FOR CONSTRUCTION

SINGLE RESIDENCE		Knock-down and Re-build	
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LOWER LV - ELECTRICAL PLAN		E1	
Block:	Section:	14	
Job No:	Scale: 1:100 @ A3	H	
File Name:	Checked by:		
Drawn by:			
Date:			

NOTE: THE INFORMATION PROVIDED HERE IS INTENDED AS A GUIDE ONLY AND WHERE ANY DISCREPANCIES OCCUR THE CURRENT NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS TAKE PRECEDENCE. NOTES ON DRAWINGS AND ENGINEERS DETAILS ALSO TAKE PRECEDENCE OVER DETAILS BELOW.

1. GENERAL

BCA - ALL CONSTRUCTION TO THE BUILDING CODE OF AUSTRALIA: VOLUME 2 FOR GENERAL CONDITIONS, WORKMANSHIP & MATERIALS.

DISCREPANCIES - ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT.

LOADS - THE STRUCTURAL WORK SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LOADS IN ACCORDANCE WITH AS1170 2002. **FLOORS** 2.0kPa AND 2.7kN OVER 100X100MM. **WIND LOAD** CATEGORY N3 TO /AS 4055 OR CLASSIFICATION 2 TO AS1170.2

HANDRAILS - WHERE THE DROP IS MORE THAN 1M SHALL BE A MINIMUM OF 1000MM HIGH WITH MAXIMUM 125MM SPACES TO BUILDING CODE OF AUSTRALIA AND STRONG ENOUGH TO WITHSTAND 0.75kN/M UDL AND 0.6kN POINT LOAD IN ANY DIRECTION TO /AS 1170.1¹ AND 1.5kN/SQ.M. WIND LOAD. WIRE HANDRAILS ARE NOT RECOMMENDED, BUT IF USED SHALL BE WIRES @ MAX 80MM C/C TENSIONED TO BCA.

FIRE SAFETY - TO BCA PART 3.7.

SAFE MOVEMENT AND ACCESS - TO BCA PART 3.9.1/2, **STAIRS** TO AS1657, **BALUSTRADE** TO AS1170.

CLADDING SYSTEMS - TO BCA PART 3.5.

2. SITE PREPARATION AND DEMOLITION

VERGE PROTECTION - PROTECT VERGE TO AUTHORITY REQUIREMENTS

SITE PREPARATION - SEE BCA PART 3.1.

SET OUT - THE BUILDER IS RESPONSIBLE FOR ENSURING THE NEW BUILDING WORKS ARE SET OUT BY A REGISTERED SUPERVISOR IN ACCORDANCE WITH THE DRAWINGS.

EXISTING BUILDING - DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

LEVELS - THE BUILDER SHALL MAKE ADEQUATE EXAMINATION OF THE SITE AND IS RESPONSIBLE FOR CHECKING THE ACTUAL LEVELS AGAINST THOSE SHOWN ON THE DRAWINGS.

SITE CLASSIFICATION - TO ENGINEERS CERTIFICATION PROVIDED - TO AS2870.

COMPACTED FILL - UNDER SLAB MAX DEPTH OF 450MM COMPACTED IN 150MM LAYERS TO AS2870. WHERE DEPTH OF FILL EXCEEDS 450MM USE LOOSE FILL & INSTALL Ø300MM BORED PIERS OR 230 BRICK PIERS ON 350X350X300MM PADS @ MAX 2M C/C EACH WAY, INCREASE SLAB TO MIN 120MM THICK AND DOUBLE UP SLAB MESH TO S182 TOP AND BOTTOM.

SERVICES - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDER GROUND SERVICES PRIOR TO EXCAVATION.

SERVICE TRENCHES - BACKFILL AS SOON AS POSSIBLE AFTER LAYING THE SERVICE. PLACE BACKFILL IN LAYERS. COMPACT EACH LAYER TO A DENSITY SUFFICIENT TO MINIMIZE SETTLEMENT. **BACKFILL MATERIAL:** EXCAVATED SPOIL OR WELL GRADED INORGANIC MATERIAL WITH MAXIMUM PARTICLE SIZE OF 75 MM. **NEXT TO SERVICES:** DO NOT PLACE ANY PARTICLES GREATER IN SIZE THAN 25 MM WITHIN 150 MM OF SERVICES; **UNDER PAVED AREAS:** COARSE SAND, CONTROLLED LOW STRENGTH MATERIAL OR FINE CRUSHED ROCK; **IN REACTIVE CLAY SITES CLASSIFIED M, H OR E** TO AS 2870: IMPERVIOUS MATERIAL.

EARTHWORKS - FILL AND EXCAVATE GROUND TO ACHIEVE DESIGN LEVELS. BACKFILL ALL TRENCHES AND OTHER EXCAVATIONS WITH "B" GRADE CRUSHED ROCK RAMMED & COMPACTED IN LAYERS OF 150MM DEPTH.

TOPSOIL - TO BE SLAVAGED + STORED OR SPREAD ON SITE AS DIRECTED.

ROCK ALLOWANCE - SHOULD ANY ROCK REMOVAL BE REQUIRED, THE BUILDER SHOULD SUBMIT A VARIATION CLAIM AND RECEIVE ACCEPTANCE PRIOR TO UNDERTAKING WORK.

TERMITE PROTECTION - THE BUILDER IS RESPONSIBLE FOR INSTALLATION FOR ANY ADDITIONAL TERMITE PROTECTION NOT SHOWN ON THE DRAWINGS TO AS3660. CONTRACTOR TO PROVIDE CERTIFICATION. TERMITESH (OR EQUIV) NON- TOXIC TERMITE BARRIER OR ANT CAPPING TO TIMBER FRAMED FLOORING.

DEMOLITION - GENERALLY TO AS2601, **NOISE AND VIBRATION CONTROL** TO AS2346 AND **ELECTRICAL DEMOLITION** TO AS5012. BUILDER IS RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THAT MAY OCCUR AND FOR ENSURING NO DAMAGE OCCURS TO ADJOINING PROPERTIES, FENCES, GARDENS, ROADS, PATHS OR VEHICLES DURING DEMOLITION. TIE DOWN ANY ROOFS TEMPORARILY TO WITHSTAND UP/LIFT WIND.

ASBESTOS - REFER ASBESTOS CONTROL PLAN. BUILDER TO ENSURE REMOVAL AND DISPOSAL OF PRODUCTS CONTAINING ASBESTOS CEMENT IS IN ACCORDANCE WITH AUTHORITY REQUIREMENTS.

SITE CLEANING - THE BUILDER IS RESPONSIBLE FOR KEEPING THE SITE IN CLEAN STATE AND SHALL ENSURE REGULARLY REMOVE RUBBISH & DEBRIS.

EXISTING WORK PROTECTION - THE BUILDER SHALL ENSURE ALL EXISTING STRUCTURES & FINISHES TO REMAIN ARE NOT DAMAGED BY THE WORKS BY THE USE OF DROP SHEETS, RAMPS AT CHANGES IN LEVEL, CORNER PROTECTION TO OPENINGS & PROTECTION OF FLOOR FINISHES. ANY DAMAGE THAT DOES OCCUR SHOULD BE MADE GOOD AT NO COST TO THE OWNERS.

TREE PROTECTION - BUILDER TO PROTECT EXISTING TREES ADJACENT TO THE NEW WORK.

WARRANTIES - THE BUILDER SHALL OBTAIN & FURNISH TO THE OWNERS ALL WARRANTIES FOR APPLIANCES, MATERIALS & WORKMANSHIP.

FINAL CLEANING - BUILDER TO ALLOW FOR A THOROUGH COMMERCIAL CLEAN OF THE AREA AFFECTED BY NEW WORK INTERNAL & EXTERNAL AND REMOVE ALL DEBRIS AND WASTE FROM THE SITE. NEW AND AFFECTED WINDOWS TO BE CLEANED THOROUGHLY REMOVING ANY PAINT AND MARKINGS. EXTREME CARE IS TO BE TAKEN NOT TO SCRATCH THE GLAZING.

3. CONCRETE CONSTRUCTION

WORKMANSHIP AND MATERIALS - CONCRETE STRUCTURES SHALL BE IN ACCORDANCE WITH AS3600. **RESIDENTIAL SLABS AND FOOTINGS** TO AS2870, **PILING** TO AS2159, **CONCRETE READY MIX** TO AS1379, **FORM WORK** TO AS3610.

CONCRETE - SHALL BE N2 FOR SLABS AND N20 FOR FOOTINGS TO AS3600: MAXIMUM AGG. SIZE 20MM WITH MINIMUM CEMENT CONTENT 300 KG/M3. MAXIMUM WATER/CEMENT RATIO = 0.5.

CONCRETE FILLING - FOR HOLLOW STEEL COLUMNS AND BLOCK CORE FILLING SHALL BE 1 : 0.25 : 4 BLOCK MORTAR OR N20 CONCRETE MAXIMUM AGGREGATE SIZE 10MM.

SURFACE FINISH - TO SLABS ARE TO BE MACHINE FLOAT FINISH WITH TOLERANCE OF 5MM IN 3000MM. A BUILDER'S LEVEL OR LASER SHALL BE USED WHEN PLACING SLAB CONCRETE.

HOLES FOR SERVICES - LARGER THAN 100MM DIAMETER AT 1M C/C SHALL NOT BE FORMED VERTICALLY IN THE SLAB WITHOUT PERMISSION FROM THE STRUCTURAL ENGINEER. ANY CUT BAR SHALL HAVE SAME DIAMETER BAR INSTALLED BOTH SIDES WITH MIN LAPS TO NOTE R3 TYPICAL.

VIBRATORS - SHALL BE USED WHEN PLACING ALL CONCRETE.

SERVICES IN THE FOOTINGS - SHALL EITHER BE PLACED UNDER THE FOOTINGS AT RIGHT ANGLES OR HORIZONTALLY AND AT RIGHT ANGLES IN THE FOOTING MIDDLE THIRD TO AS2870.

POLISHED CONCRETE SLAB - POLISHED CONCRETE REQUIRES SPECIAL DESIGN, CONCRETE SLAB SPECIFICATION AND DETAILING REFER TO THE STRUCTURAL ENGINEER.

CURING - CURE CONCRETE FOR 7 DAYS. COVER WITH 0.2MM POLYTHENE AFTER POURING.

SUSPENDED SLABS - ON BONDEK OR CONDEK SHALL BE PROPPED GENERALLY AT MAX 1.2M C/C WHILE SLAB CURES FOR MIN 25 DAYS UNO. CONCRETE SURFACE LEVEL TO BE MEASURED WITH PEGS.

SUSPENDED SLABS FORMWORK - PROPPING / BONDEK OR CONDEK PROPPING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE STRUCTURAL ENGINEER.

DRIVEWAY - GRADES TO ALLOW CLEARANCE FOR VEHICLES ALONG WHOLE LENGTH OF DRIVEWAY. FOOTPATH CROSSING TO COMPLY WITH URBAN SERVICES REQUIREMENTS.

REINFORCEMENT - SHALL BE SUPPLIED, FABRICATED AND PLACED TO AS3600 AND IS GENERALLY DESIGNATED TO AS1100 PART 501.

REINFORCEMENT GRADE - 500N OR 250R AS DESIGNATED TO AS1302. MESH SHALL BE 500L GRADE TO AS1304.

REINFORCING LAPS - SHALL BE 50 BAR DIAMETERS, OR 500MM FOR TRENCH MESH, AND FOR SLAB MESH SHALL BE TWO CROSS BARS PLUS 25MM.

CLEAR COVER - TO REINFORCEMENT SHALL BE 20MM FOR INTERNAL SLABS, 30MM FOR EXTERNAL SLABS AND 50MM FOR FOOTINGS.

BAR CHAIRS - SHALL BE AT 60 BAR DIAMETERS EACH DIRECTION EXCEPT FOR MESH WHERE BAR CHAIRS SHALL BE AT 800C/C EACH DIRECTION. CHAIRS SHALL NOT PUNCTURE POLYTHENE MEMBRANE. TAPE POLYTHENE WITH TESA TAPE AT JOINS.

4. BRICK CONSTRUCTION

MASONRY - TO BCA 3.3. **MASONRY STRUCTURES** TO AS3700. **MASONRY IN SMALL BUILDINGS** TO AS4773. **MASONRY UNITS** TO AS4455. **OTHER UNITS** TO AS4678. **WALL TIES** TO AS2699, **FLASHING** + **DAMP PROOF COURSES** TO AS2904.

MASONRY UNITS - GENERALLY 230 X 75 X 100 STRETCHER BOND WITH 10MM TOOLED JOINTS.

MORTAR - FOR GENERAL CLAY BRICKS SHALL BE 1: 1: 6 CEMENT : LIME: SAND ABOVE OR 1: 0.5: 4.5 BELOW DAMP PROOF COURSE. ALL BRICK MORTAR BELOW GROUND LEVEL AND TO 400MM MIN ABOVE GROUND LEVEL TO HAVE XYPEX ADDITIVE AT A RATE OF 1 CUP (250ML) PER TWO CUBIC FT OF MORTAR.

BRICK TOR - SHALL BE LAID IN BED JOINTS EVERY 4TH COURSE GENERALLY AND EVERY 2ND COURSE MAX OVER AND TO 1M EACH SIDE OF WINDOWS, DOORS AND OPENINGS.

BRICK TIES - TO MATCH STUD SPACING HORIZONTALLY, 600 CTS VERTICALLY, MAX 4TH COURSE VERTICAL SPACING AROUND OPENINGS.

EXISTING BRICKWORK - THE BUILDER IS RESPONSIBLE FOR PROPPING AND STABILISATION OF BRICKWORK DURING CONSTRUCTION.

EXTENSIONS - WHERE ADDING TO EXISTING BRICKWORK USE RECYCLED BRICKS WHERE POSSIBLE OR USE LOW EXPANSION BRICKS.

EXPANSION JOINTS - PROVIDE EXPANSION JOINTS BETWEEN OLD AND NEW BRICKWORK.

THE BUILDER IS RESPONSIBLE FOR THE LOCATION OF VERTICAL EXPANSION JOINTS TO SUIT BRICK EXPANSION VALUE 'E' OF BRICKS USED. GENERALLY MAXIMUM LENGTH OF CONTINUOUS WALL 12M, MINIMUM JOINT WIDTH 15MM AND WHERE OPENINGS ARE GREATER THAN 900MM X 900MM, AT 5M CENTRES AND ALIGN WITH ONE EDGE OF OPENING.

FIRE RATING REQUIREMENT - MIN FLR 60/60/60 (OR INCLUDE 90MM MASONRY CONSTRUCTION) IF WITHIN 900MM OF SIDE OR REAR BOUNDARY OR 1.8M FROM ANOTHER BUILDING.

SUB FLOOR VENTS - PROVIDE AS REQUIRED. 4000MM²/M OF WALL WHERE NO MEMBRANE ON GROUND. 2000MM²/M OF WALL WHERE GROUND SEALED WITH IMPERVIOUS MEMBRANE. MIN HEIGHT 150MM OR 400MM WHERE TERMITE INSPECTION REQUIRED.

WEATHERPROOFING / WATERPROOFING - TO BCA 3.3.4.

FLASHINGS, DAMP PROOF COURSE + WEEP HOLES - WEEP HOLES AT CENTRES NOT EXCEEDING 1.2M.

WEEPHOLE GUARDS - FOR INSECTS / IN BUSHIERE PRONE AREAS AS REQUIRED.

5. STEEL CONSTRUCTION

STEEL STRUCTURES TO AS1250 OR AS4100, **STEEL FRAMING** TO AS4600. TO NASH. **COLD FORMED STEEL** TO AS3623, **PREPARATION OF METAL SURFACES** TO AS1627.

STEELWORK - TO BCA 3.4.2 + 3.4.4, ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100 AND AS1554 EXCEPT WHEN VARIED BY THE SPECIFICATION AND DRAWINGS.

STEEL GRADE - SHALL BE IN ACCORDANCE WITH AS3679 GRADE 300 OR AS1163 GRADE C350L FOR RECTANGULAR AND SQUARE HOLLOW SECTIONS OR GRADE 300L0 FOR CIRCULAR HOLLOW SECTIONS TO 165 O.D. AND GRADE C350L0 ABOVE 165 O.D. COLD FORMED LIGHT GAUGE PURLIN AND GIRT SECTIONS SHALL BE GRADE 450 ZINC COATED Z200 TO AS1397.

WELDS - TYPE ABBREVIATIONS: **CFW** = COMPLETE FILLET WELD, **FPBW** = FULL PENETRATION BUTT WELD. WELDING SHALL BE 4MM CFW UNO AND SHALL COMPLY WITH AS1554. BUTT WELDS ARE TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN AS1554.

ELECTRODES - SHALL BE E41XX OR E48XX. E48XX ELECTRODES SHALL BE USED UNO.

BOLTS - SHALL BE M16 GRADE 8.8TB TO AS1252 UNO. BOLT HOLES SHALL BE BOLT DIAMETER +2MM FOR STEEL TO STEEL CONNECTIONS. +4MM FOR STEEL TO CONCRETE CONNECTIONS. HOLES BEING +3MM SHALL HAVE MIN 4MM THICK LARGE WASHER UNDER NUTS.

PLATES AND STIFFENERS - SHALL BE 12MM THICK UNO.

CORROSION PROTECTION - FOR STEELWORK SHALL BE TWO COATS ROZP GENERALLY, WITH EXTRA TWO COATS OF ENAMEL FOR EXPOSED STEELWORK TO AS2312.

EPOXY - SHALL BE EPIREZ 133, RAMSETT C20 INJECTION OR HILTI HIT INSTALLED TO MANUFACTURERS SPECIFICATIONS.

LINTELS - WINDOW AND DOOR LINTELS SHALL BE GALVANIZED MAX LOAD 450KG/M

SPAN	LINTEL	END BEARING	MIN COURSES
EACH END	BRICK OVER		
0-1800MM	100X100X6L 150MM		3
1800MM-2700MM	150X100X6L 180MM		4
2700MM-4800MM	200X200X9T 230MM		5
4800MM-5400MM	200X200X9T 230MM		6

CAV-T-BAR TO MANUFACTURERS SPECS:
2400MM-5800MM 240 X 250 41KG/M 230MM 0

CEILING SYSTEMS - IF HUNG FROM PURLINS SHALL BE HUNG FROM PURLIN WEB ONLY.

FLASHING - PROVIDE FLASHING OVER ALL NEW WINDOWS, DOORS, UNDER WINDOWS SILLS, ACROSS CAVITIES, AT JUNCTIONS, BETWEEN DIFFERENT WALL COVERING AND ANY OTHER LOCATIONS AS FINISHED.

6. TIMBER CONSTRUCTION

FRAMING - TO BCA PART 3.4. **TIMBER FRAMING** TO AS1684, **TIMBER CONSTRUCTION** TO AS1720.

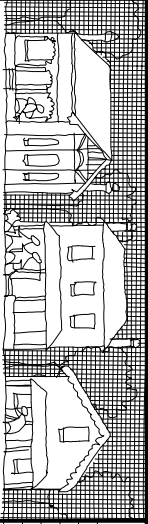
WIND LOADINGS - UNLESS ALTERNATIVE DESIGN SHOWN OR PROVIDED AND CERTIFIED BY TRUSS MANUFACTURER FOR WIND LOADINGS ALL EXTERNAL WALLS AND DIVIDING WALLS AS SHOWN TO HAVE 90X45 MGP10 H2 STUDS @ 450C/C AND TYPE B PLY BRACE (7MM F7, 4MM F14 OR HARDIES BRACE BOARD) TO ONE SIDE FROM BOTTOM OF BOTTOM PLATE TO TOP OF TOP PLATE TO AS1684 AND MANUFACTURERS SPECIFICATIONS. JOIN IF NECESSARY ON NOGS AND STUDS.

STUDWORK - MINIMUM 90X45 MGP10 H2 STUDS AT 450MM C/C AND MIN 45X90 MGP10 H2 TOP & BOTTOM PLATES OR OTHERWISE TO AS1684/ TO COMPLY WITH TIMBER FRAMING CODE.

ROOF FRAMING AND LINTELS - TRUSSED FRAMES AND HEADS TO MANUFACTURERS SPECIFICATION. LINTELS TO ENGINEERS SPECIFICATION OR TO TIMBER FRAMING CODE.

STRUCTURAL TIMBER FRAMING - SHALL BE H2 INSIDE, H3 OUTSIDE ABOVE GROUND AND H4 OUTSIDE BELOW GROUND TO AS3660 UNO.

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AMENDMENTS

REVISION DATE DESCRIPTION

SINGLE RESIDENCE

Knock-down and Re-build

CONSTRUCTION NOTES - SHEET 1 OF 2

Block:

Job No:

File Name:

Drawn by:

Date:

Section:

Scale: 1:50 @ A3

Checked by:

C1

14

H

EXTERNAL OUT OF GROUND TIMBERS - WHERE SPECIFIED SHALL BE AS FOLLOWS:

DURABILITY CLASS 1 TO AS1684:	
GREY BOX	EUCALPTUS BOSISTOANA
GREY GUM	EUCALPTUS PROSPINQUA
GREY IRONBARK	EUCALPTUS PANICULATA
CYPRESS PINE	CALLITRIS GLAUCOPHYLLA
TALLOW WOOD	EUCALPTUS MICOCORIS
BLACKBUTT	EUCALPTUS PILLULARIS
SPOTTED GUM	EUCALPTUS MACULATA

DURABILITY CLASS 2 TO AS1684:	
JARAH	EUCALPTUS MARGINATA
STRINGY BARK	EUCALPTUS MUELLOERANA
MERBAU	INTSIA BIUGA

7. INSULATION + SARKING

ENERGY EFFICIENCY DETAILS - TO BCA 3.1.2, **INSULATION** TO AS4859.

DEEMED TO SATISFY INSULATION: ROOF/CEILING INSULATION -SYSTEM ACHIEVES MIN R 4.2 (GENERALLY R4.0 BULK MIN) **WALLS** - SYSTEM ACHIEVES MIN R2.4 (GENERALLY R1.0 BULK MIN) **SUSPENDED FLOOR** - SYSTEM ACHIEVES MIN R 1.5 ENCLOSED/ R2.5 UNENCLOSED (GENERALLY R1.85 INSULATION MIN). **SLAB HEATING** - REQUIRES R1.0 SLAB EDGE INSULATION.

8. ROOFING

ROOFING - FRAMING TO BCA PART 3.4 /3.5.1, **ROOF TILES** TO AS2049/ AS2050, **COLOURBOND (OR SIMILAR)** TO AS1562, **GUTTERS AND DOWNPIPES** TO AS 3500.

STRAPPING DOWN - ALL RAFTERS, PURLINS, BEAMS AND TRUSSES STRAPPED DOWN FOR NET UPLIFT PRESSURES IN ACCORDANCE TO AS1684.2 - 2006, TABLE 9.5.

ROOFING - TO MATCH EXISTING TILES/ ROOF SHEETING TO MATCH EXISTING PROFILE UNO. ALL ROOF SHEETING 0.488MT CUSTOM ORB UNO. MAX SPAN 1.0M.

BATTEN SPACING - TO SUIT ROOF CLADDING AND TO MANUFACTURERS SPECIFICATIONS AND TO BCA

ROOF VENTILATORS - AS SHOWN ON PLANS.

FLASHING - PROVIDE 'DEKITE' FLASHING AROUND ANY PENETRATIONS IN ROOF FOR VENTS, PLUMBING PIPES ETC. FLASHING LET INTO BRICKS JOINTS SHALL BE SECURELY FIXED WITH SUITABLE METAL WEDGES OR PLUGS. FLASHING SHALL BE GENERALLY 0.62MM ZINCALUME FLASHING SHEET, FORMED INTO PROFILES AS DETALLED.

ROOF PENETRATIONS - ALLOW FLASHING FOR VENT PIPES TO EXHAUST FANS AND RANGHOOD.

9. GLAZING

GLAZING - TO BCA 3.6, **GLAZED ASSEMBLIES** TO AS2047, **GLASS IN BUILDINGS** TO AS1288, **WIND LOADS** TO AS4055.

WIND PRESSURE - ALL GLAZING SHALL BE SUPPLIED TO AS1288 FOR 1.5KPA ULTIMATE WIND PRESSURE EXCEPT CORNER WINDOWS WHICH HAVE 3.0KPA ULTIMATE WIND PRESSURE.

PROTECTIVE FILM - ALL WINDOWS ARE TO BE DELIVERED TO SITE & INSTALLED WITH PROTECTIVE PLASTIC FILM ON ALL GLASS PANES. FILMS TO BE REMOVED AT THE COMPLETION OF THE PROJECT DURING THE COMMERCIAL CLEANING OF THE HOUSE. ANY SCRATCHED GLASS PANES TO BE REPLACED AT BUILDERS EXPENSE.

HUMAN IMPACT SAFETY - GRADE A SAFETY GLAZING TO DOORS, 10MM TOUGHENED OR LAMINATED TO SHOWER SCREENS, GRADE A SAFETY GLAZING TO WINDOWS WHERE SILL <0.5M ABOVE FFL (OR WHERE SILL < 2.0M ABOVE FFL IN WET AREAS).

PROTECTION OF OPENABLE WINDOWS - REQUIRED WHERE FLOOR BELOW WINDOW IS >2M ABOVE SURFACE BELOW. OPENING TO BE LIMITED TO 125MM OR SUITABLE CHILD RESISTANT SCREEN TO BE FITTED.

10. DOORS + DOOR HARDWARE

QUALITY - ALL TIMBER DOORS SHALL BE TRUE, STRAIGHT AND WELL FINISHED. THE BUILDER SHALL TAKE CARE IN TRANSPORTING, STORING & HANGING DOOR TO PREVENT WARPING.

11. LININGS + TRIM

PLASTERBOARD - PROVIDE 10MM GYPSUM PLASTERBOARD LININGS TO ALL NEW INTERNAL WALLS & CEILINGS (EXCEPT WET AREAS) INSTALLED IN AN EVEN PLANE FIXED IN ACCORDANCE WITH AS1530.4.

VILLABOARD - PROVIDE 6MM VILLABOARD LINING TO WET AREA WALLS & CEILINGS WITH FLUSH TAPED JOINTS. ANY CRACKED OR DAMAGE SHEETS TO BE REJECTED.

JOINTING AND STOPPING - JOINTING AND STOPPING COMPOUNDS FOR PLASTERBOARDS SHALL BE AS RECOMMENDED BY SHEET MANUFACTURERS AND USED IN ACCORDANCE WITH THEIR INSTRUCTIONS.

EXTERNAL BEAD ANGLES - PROVIDE ' E X A N G L E ' OR SIMILAR GALVANIZED SHEET EXTERNAL BEAD ANGLES TO ALL EXTERNAL PLASTERBOARD CORNERS FIXED WITH 25MM CLOUTS AT 300MM CENTRES OR AS NECESSARY AND FINISH WITH SET PLASTER TO A SMOOTH AND CONTINUOUS LINE.

NAILS - NAILS FOR SHEET FIXING SHALL BE GALVANIZED, OF A LENGTH TO ENTER AT LEAST 20MM INTO SOLID WOOD.

ACCURACY - ALL FINISHED WALL TO BE WITHIN +/- 2MM OF SIZES SHOWN ON DRAWINGS.

ABUTTING OTHER MATERIAL - PROVIDE A P12 PLASTER STOPPING BEAD TO ANY PLASTER SURFACE THAT ABUTS ANOTHER MATERIAL.

12. DOORS + DOOR HARDWARE

13. TILING + SPLASHBACKS

WET AREAS - TO BCA PART 3.8.1, **WET SEAL** TO AS3740.

WET SEALING - FULLY TANK WET AREA FLOORS WITH PAINT ON WATERPROOF MEMBRANE PRIOR TO TILING. FULLY TANK OVER ALL WALL JUNCTIONS.

SUB-BASE - THE TILING CONTRACTOR SHALL ENSURE THE SUB-BASE IS TRUE & LEVEL AND FREE OF DEBRIS & DUST PRIOR TO LAYING OF TILES. THE LAYING OF TILES BY THE CONTRACTOR SHALL IMPLY HIS/HER ACCEPTANCE OF SUB-BASE.

SET OUT - SET OUT TILES TO ACHIEVE MINIMUM CUT TILES.

SET DOWNS - BUILDER TO SET DOWN SHOWER FLOOR AND FALL TO WASTE.

FINISHED FLOOR LEVELS - ENSURE FINISHED TILED FLOOR IS LEVEL WITH ADJOINING FLOORING.

DOOR THRESHOLDS - TILES AT DOOR THRESHOLDS TO FINISH FLUSH WITH ADJOINING FLOORING UNDER CENTRE LINE OF DOOR.PROVIDE 20X20MM MILL FINISHED ALUMINIUM ANGLE TRIMS AT DOOR THRESHOLDS WHERE TRANSITIONING TO OTHER FLOORING MATERIAL.

GROUT - ALL TILING SHALL BE FIXED AT LEAST 24 HOURS BEFORE GROUTING. GROUTING TO ALL JOINTS TO BE SUPERFINE CEMENT BASED COMPRESSIBLE WATERPROOF GROUTING MATERIAL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

14. TIMBER FIXTURES

15. PAINTING

FINISH - ALLOW HIGH LEVEL OF FINISH USING PREMIUM GRADE PAINTS.

PREPARATION - ENSURE WALL AND CEILING SURFACES ARE CLEAN & DUST FREE & IN A SUITABLE STATE TO RECEIVE THE APPLIED MATERIAL. ENSURE ALL WALL SURFACES TO BE PAINTED ARE THOROUGHLY SCRUBBED. DOWN SO THEY ARE CLEAN, FREE OF DEBRIS & DUST AND IN A SUITABLE STATE TO RECEIVE THE APPLIED MATERIAL.

PROTECTION - USE DUST SHEET & DROP SHEETS WHEREVER NECESSARY TO PROTECT FINISHED FLOORS, EXTERNAL PATHS & ANY FINISHED WORK. ANY DAMAGE OR DEFECTS TO SURFACES TO BE PATCHED, STOPPED & SANDED SMOOTH AS REQUIRED PRIOR TO PAINTING.

INTERNAL WALLS + CEILINGS - SEAL / UNDERCOAT & APPLY 2 FINISHED COATS OF WASH & WEAR ACRYLIC.

TIMBER WINDOWS INTERNALLY- APPLY 2 COATS OF CLEAR SEALER TO INTERNAL FACES OR ALLOW TO SEAL / UNDERCOAT & APPLY 2 FINISHED COATS OF GLOSS' ENAMEL.

ARCHITRAVES + TRIM - SEAL / UNDERCOAT & APPLY 2 FINISHED COATS OF 'GLOSS' ENAMEL.

TIMBER WINDOWS EXTERNALLY- APPLY 2 COATS OF CLEAR SEALER TO EXTERNAL FACES OR ALLOW TO SEAL / UNDERCOAT & APPLY 2 FINISHED COATS OF 'GLOSS' ENAMEL.

SOFFIT LININGS - SEAL / UNDERCOAT & APPLY 2 COATS ACRYLIC SOLARGARD.

TIMBER FASCIAS + OTHER TIMBER MEMBERS - PRIMER / UNDERCOAT & APPLY 2 FINISHED TOP COATS OF 'GLOSS' ENAMEL.

STEELWORK - COLD GALV. / PRIMER & APPLY 2 FINISHED COATS OF 'GLOSS' ENAMEL TO EXPOSED STEELWORK NOT ALREADY POWDER COATED.

WARRANTIES - THE BUILDER IS RESPONSIBLE FOR PROVIDING A WARRANTY STATING THAT THE PREPARATION OF SURFACES MATERIALS AND APPLICATION SHALL SHOW NO DETERIORATION AND REMAIN IN GOOD CONDITION FOR PERIOD OF SEVEN YEARS FROM THE DATE OF PRACTICAL COMPLETION.

16. PLUMBING, DRAINAGE + GAS

PLUMBING - TO BCA PART 3.1, **PLUMBING** TO AS3500

EXISTING SERVICES - TO BE RETAINED UNO.

HAMMERING - ALL PIPE WORK TO BE INSTALLED & ADEQUATELY BRACED TO PREVENT ANY HAMMERING OR NOISE.

PENETRATIONS THROUGH SLAB - ANY PIPE PENETRATION THROUGH SLABS TO BE ADEQUATELY INSULATED.

TESTING - ALL PIPE WORK AND FITTINGS SHALL BE TESTED AND APPROVED BY THE RELEVANT AUTHORITY.

PERMITS + FEES - THE BUILDER SHALL PROCURE ALL PERMITS, ISSUE ALL NOTICES & PAY ALL FEES AND CHARGES IN CONNECTION WITH WORK.

EXPANSION JOINTS - PROVIDE EXPANSION JOINTS IN BRASS TUBE & UPVC PIPING AT INTERVALS TO COMPLY WITH AUTHORITY REGULATIONS & IN POSITIONS TO PREVENT STRESS IN PIPE WORK.

PIPING - ALL HOT & COLD WATER PIPES TO BE PVC. ALL HOT WATER PIPING SHALL BE COMPLETELY INSULATED USING PRE-LAGGED PIPING.

EXISTING LINES - THE BUILDER IS RESPONSIBLE FOR CONNECTING NEW SEWER LINES INTO EXISTING AND FOR DIRECTION OF ANY SEWER & STORMWATER LINES TO ENABLE THE COMPLETION OF THE WORKS.

17. ELECTRICAL + MECHANICAL INSTALLATIONS

ELECTRICAL - TO BCA 3.8.4, **INTERIOR LIGHTING** TO AS1680, **SMOKE ALARMS** TO AS3786

APPLIANCES - THE ELECTRICAL CONTRACTOR IS TO MAKE ALLOWANCE FOR ALL WIRING AND ELECTRICAL CONNECTIONS FOR ANY NEW OR RELOCATED ELECTRICAL APPLIANCES. PROVIDE GROS TO ALL APPLIANCES & FIXTURES.

LAYOUT - LIGHTING & ELECTRICAL LAYOUTS ARE INDICATIVE ONLY AND SHOULD BE SET OUT FOR OPTIMUM APPEARANCE AND EFFICIENCY.

WIRING - ALL WIRING TO BE FIXED IN POSITION PRIOR TO FIXING OF INTERNAL WALL LININGS. WIRING SHALL BE INSTALLED ABOVE CEILING AND LEADS TAKEN VERTICALLY TO OUTLETS OR SWITCH POINTS & SECURELY FIXED TO TIMBER FRAMING WITH NON-FERROUS CLIPS.

EARTHING - ALL POWER POINTS, ELECTRICAL APPLIANCES & METAL HOT & COLD RETICULATION PIPING SHALL BE EARTHED WITH APPROVED TWISTED COPPER EARTHING WIRE. SECURED AT 300MM CENTRES TO TIMBER FRAMING & CONNECTED TO AN EARTHING STAKE WITH GALVANIZED CLIP. EARTHING STAKE SHALL BE LOCATED AS CLOSE TO EXTERNAL WALL AS POSSIBLE AND NOT EXTEND MORE THAN 150MM ABOVE FINISHED GROUND LEVEL.

SMOKE DETECTORS - INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE RELEVANT CODES & STANDARDS.

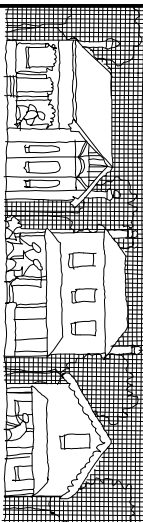
18. LANDSCAPING + PAVING

PAVING - LAID ON MIN 50MM CRUSHED BLUE METAL BASE. EDGE TO BE RETAINED BY MIN 40MM THICK MORTAR

SWIMMING POOLS AND SPAS - TO BCA PART 3.9.3/4, **SWIMMING POOL SAFETY** TO AS1926, **MOULDED POOLS** INSTALLATION TO AS1839.

OVERLAND FLOW - ALLOW FOR OVERLAND FLOW AROUND NEW + EXISTING BUILDING.

19. MISCELLANEOUS

<div>JOHN SKURR CONSULTING ENGINEERS PTY LTD 10/15-17/19 Brompton Street, Sydney NSW 1500 ACT 2000 PO Box 7172 Yarralumla ACT 2600 PH 6232 4620 FAX 6232 4171 john@johnskurr.com.au</div> <div></div> <div>29 Earle Street Lynburn ACT 2602 Allan Spira, Architect email: spira@webone.com.au MOBILE: 0417 434 781</div>		<table><tr><th colspan="2">AMENDMENTS</th></tr><tr><th>REVISION</th><th>DATE</th></tr><tr><td>A</td><td>17.01.14</td></tr><tr><td>B</td><td>19.03.14</td></tr><tr><td>C</td><td>16.04.14</td></tr><tr><td>D</td><td>02.05.14</td></tr><tr><td>E</td><td>17.06.14</td></tr><tr><td>F</td><td>09.07.14</td></tr><tr><td>G</td><td>16.11.14</td></tr><tr><td>H</td><td>22.01.15</td></tr></table>		AMENDMENTS		REVISION	DATE	A	17.01.14	B	19.03.14	C	16.04.14	D	02.05.14	E	17.06.14	F	09.07.14	G	16.11.14	H	22.01.15
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<div>SINGLE RESIDENCE Knock-down and Re-build</div>		<div>CONSTRUCTION NOTES - SHEET 2 OF 2</div> <table><tr><td>Block:</td><td>Section:</td><td rowspan="3">C2 14 H</td></tr><tr><td>Job No:</td><td>Scale: 1:50 @ A3</td></tr><tr><td>File Name:</td><td></td></tr><tr><td>Drawn by:</td><td>Checked by:</td><td></td></tr><tr><td>Date:</td><td></td><td></td></tr></table>		Block:	Section:	C2 14 H	Job No:	Scale: 1:50 @ A3	File Name:		Drawn by:	Checked by:		Date:									
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